8141 E Indian Bend Rd, Suite 103 Scottsdale AZ 85250 Tel: (480) 443-8570 Fax: (480) 443-3736 www.westland-properties.com



EXCLUSIVE LISTING ESTATES AT HAYDEN HAYDEN RD & WESTLAND RD | SCOTTSDALE, ARIZONA

LOCATION

Site is located North of the Northeast corner of Hayden Rd & Westland Rd,

Scottsdale, Arizona

NUMBER OF ACRES

±10.119 Gross / ±9 Net

NUMBER OF LOTS

5 Custom Lots | .75 Acre Minimum

SETBACKS

30' Front Yard / 26' Rear Yard / 15' & 15' Side Yard

Note: 35' Setback Required along North side of Lot 1

APPROVED ZONING

R1-43 ESL / City of Scottsdale

PURCHASE PRICE

\$1,500,000 | \$300,000/Platted & Engineered Lot

SUGGESTED TERMS

Cash. 60-day Feasibility Period with a close of escrow upon Final Subdivision Plat approval in recordable form with the City of Scottsdale.

UTILITIES

Water City of Scottsdale

Sewer City of Scottsdale

Electric Arizona Public Service

CONTACT

Grant D. Helgeson, Don McCaul

Westland Properties Group

COMMENTS

This is a rare opportunity in the North Scottsdale submarket to purchase Platted & Engineered Lots in a well-located **Gated custom lot subdivision**. Site is planned to accommodate necessary NAOS requirements. See attached Lot Summary for specific details on each Custom Lot.

Click Here for HD Aerial Site Video

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ESTATES AT HAYDEN HAYDEN RD & WESTLAND RD | SCOTTSDALE, ARIZONA PROJECT INFORMATION

ZONING

PROPERTY IS R1-43 ESL (SINGLE FAMILY RESIDENTIAL DISTRICT), PER CITY OF SCOTTSDALE.

SETBACK TABLE

FRONT 30 FEET REAR 27 FEET SIDE 15 FEET

Lo	LOT AREA TABLE							
LOT #	AREA (SF)	AREA (AC)						
1	32,474	0.7455						
2	33,792	0.7758						
3	34,172	0.7845						
4	32,843	0.7540						
5	33,486	0.7687						

AREA SUMMARY TABLE					
DESCRIPTION	AREA (SF)	AREA (ACRES)			
LOTS 1 THROUGH 5	1,166,767	3.8285			
TRACTS A, B AND C	228,767	5.2517			
RIGHT-OF-WAY	40,584	0.9316			
GROSS AREA	436,118	10.0119			
MINIMUM LOT AREA	32,474	0.7455			
AVERAGE LOT AREA	33,353	0.7657			

	TRACT USE TABLE							
TRACT	USE	AREA (SF)	AREA (AC)					
Tract A	PRIVATE ACCESS WAY, PUBLIC UTILITY, WATER AND SEWER FACILITIES EASEMENT, DRAINAGE EASEMENT, EMERGENCY AND SERVICE ACCESS EASEMENT	22,395	0.5141					
Tract B	NATURAL AREA OPEN SPACE, OPEN SPACE, DRAINAGE EASEMENT, PUBLIC UTILITY EASEMENT, SCENIC CORRIDOR EASEMENT, DRAINAGE AND FLOOD CONTROL, VISTA SCENIC CORRIDOR EASEMENT, PUBLIC UTILITY EASEMENT	186,059	4.2713					
Tract C	OPEN SPACE, DRAINAGE EASEMENT, SCENIC CORRIDOR EASEMENT	20,312	0.4663					

USES ARE BLANKET, UNLESS SHOWN IN SPECIFIC LOCATIONS WITHIN THE TRACTS ON SHEET 3 AND 4.

PROVIDED NAOS			
Undisturbed NAOS Area	3.72 ac		
Revegetated NAOS	0.00 ac		
Total Provided NAOS	3.72 ac		
Non-NAOS Open Space	1.55 ac		
52% O	pen Space		



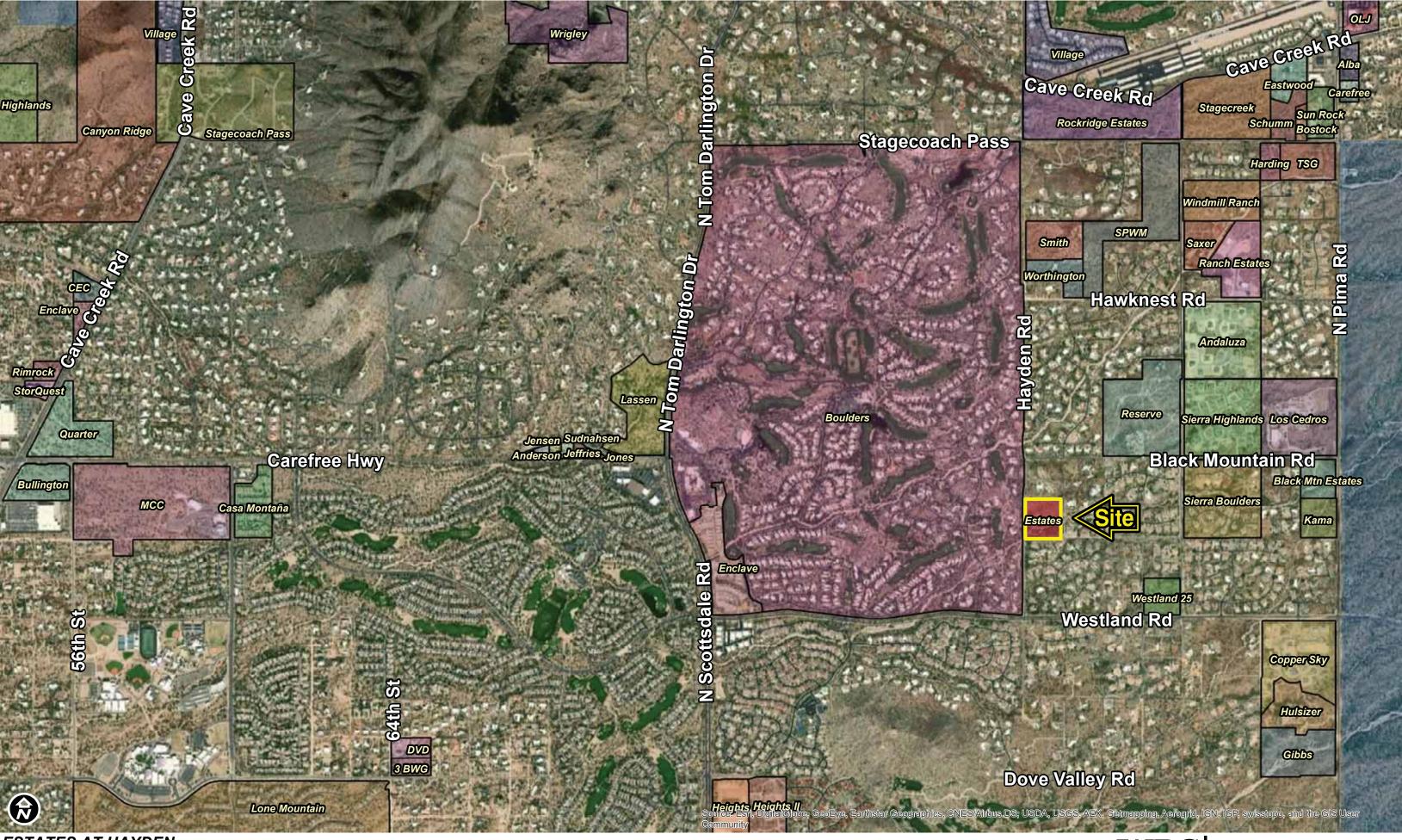
ESTATES AT HAYDEN
5 CUSTOM PLATTED & ENGINEERED LOTS
HAYDEN RD & WESTLAND RD
SCOTTSDALE, ARIZONA

Grant D Helgeson, Broker - Direct: (480) 675-5149

Don McCaul, Broker - Direct: (480) 675-5144

WPG WESTLAND PROPERTIES GROUP

8141 E Indian Bend Rd, Ste 103 Scottsdale AZ 85250 Tel: (480) 443-8570 / Fax: (480) 443-3736 www.westland-properties.com



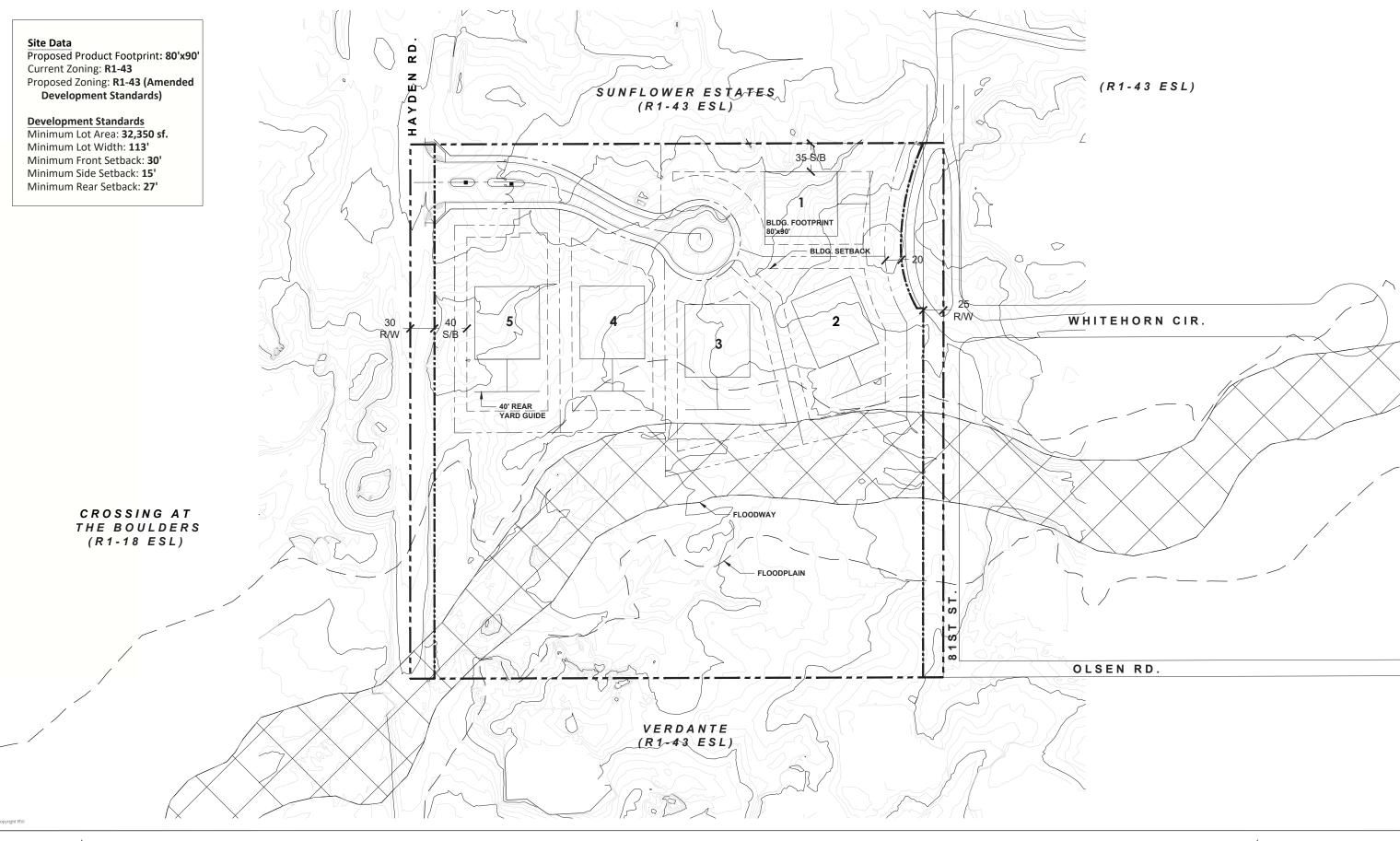
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ESTATES ON HAYDEN • CONCEPTUAL SITE PLAN

SCOTTSDALE, ARIZONA

2019-05-23

BLANDFORD HOMES



Information furnished regarding this property is from sources deemed reliable. RVI has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.

MARICOPA COUNTY, ARIZONA

OWNER: MCDOWELL CITRUS 100, LLC

STATE OF ARIZONA S.S. COUNTY OF MARICOPA

KNOW ALL MEN BY THESE PRESENTS:

KNOW ALL MEN BY THESE PRESENTS:

MCDOWELL CITICAL STORY

CONTROL STRUCT STORY

PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA

AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, UNDER THE NAME "ESTATES AT HAYDEN" AS

SHOWN ON THIS FINAL PLAT. THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE

LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET AND

EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES, AND SUBJECT TO THE CONDITIONS,

MCDOWELL CITRUS 100 LLC AN ARIZONA LIMITED LIABILITY COMPANY AS OWNER DOES HEREBY GRANT TO THE ESTATES AT HAYDEN COMMUNITY ASSOCIATION, AN ARIZONA NON-PROFIT CORPORATIO

TRACTS A. B. AND C SHALL BE OWNED AND MAINTAINED BY THE ESTATES AT HAYDEN COMMUNITY ASSOCIATION, AN ARIZONA NON-PROFIT CORPORATION.

PRIVATE STREETS

MCDOWELL CITRUS 100, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, OWNER, GRANTOR. DECLARES THE PRIVATE STREETS SHOWN HEREON AS TRACT "A" AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT.

PUBLIC STREETS

MCDOWELL CITRUS 100, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, OWNER, GRANTOR, DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE PUBLIC STREETS AS SHOWN HEREON. SEE SRC, CHAPTER 47, AS AMENDED, FOR GRANTOR'S MAINTENANCE OBLIGATIONS. WITHOUT LIMITATION, GRANTEE MAY (1) GRADE, FILL, DRAIN, PAVE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH BRIDGES, CULVERTS, DRAINAGE WAYS, RAMPS, SIDEWALKS, CURBS, GUTTERS, CUTS AND OTHER RELATED IMPROVEMENTS, AND (2) CUT AND TRIM BRANCHES, TREES AND GROWTH THAT EXTEND INTO THE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE EFFICIENT MAINTENANCE AND OPERATION OF THE

PLIBLIC FASEMENTS

MCDOWELL CITEUS 100, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, OWNER, GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE:

DRAINAGE AND FLOOD CONTROL (DFC):
A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVEES, DIKES DAMS STORMWATER STORAGE BASINS STORM DRAINS (SD) CHANNELS IMPROVEMENTS WASHES WATERCOURSES AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVELY, "DRAINAGE FACILITIES"), SUBJECT TO THE FOLLOWING:

- GRANTOR IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY MIGHT NOT BE OBVIOUS, LACK OF AWARENESS OF DRAINAGE FACILITIES DOES
- NOT EXCUSE FAILURE TO PERFORM THE REQUIREMENTS OF THIS DOCUMENT.
 GRANTOR SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEF'S PRIOR WRITTEN CONSENT
- AT GRANTOR'S EXPENSE, GRANTOR SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION; REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORACE CAPACITY; PREVENT EROSION; AND PREVENT ANY REFUSE, DEBRIS, SEDIMENT, VEGETATION, DR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.
- IF, IN GRANTEE'S OPINION, GRANTOR FAILS TO DO SUCH WORK, THEN GRANTEE MAY DO THE WORK AT GRANTODS EXPENSE. IN ADDITION TO GRANTEE'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LIEN THAT GRANTOR HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF EIGHT PERCENT (8%).
- GRANTOR SHALL INDEMNIFY, DEFEND AND HOLD GRANTEE HARMLESS AGAINST GRANTOR'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

EMERGENCY AND SERVICE ACCESS (ESA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, REFUSE COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR

NATURAL AREA OPEN SPACE, INCLUDING RESTORED DESERT (NAOS):

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON. OVER. UNDER AND ACROSS THF PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:

- GRANTOR SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.
 GRANTOR SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE
 ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERRING TO
- GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF THE EASEMENT IS DISTURBED. THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN
- GRANTEE MAY ENJOIN ANY VIOLATION OFTHIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY
- MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

NO DEVELOPMENT SETBACKS (NDS):
A PERPETUAL, NON-EXCLUSIVE EASEMENT UPON, OVER, UNDER AND ACROSS THE PARCEL OF LAND (THE 'PROPERTY') DESCRIBED ON THE LEGAL DESCRIPTION AND THE PLAT SHEETS ATTACHED HERETO. THE PURPOSE OF THE EASEMENT IS FOR PRESERVING THE EASEMENT AS NATURAL DESERT OPEN

- CRANTOR SHALL NOT LISE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE AND DRAINAGE WAY. CRANTOR SHALL NOT CONSTRUCT A WALL OR ANY STRUCTURE ON THE EASEMENT EXCEPT AS
- APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERRING TO THIS ESSEMENT.

 GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF
- GRANTEE MAY ENJOIN ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT, HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE

THE EASEMENT IS DISTURBED. THE RESTORED DESERT AND DRAINAGEWAY SHALL BE PRESERVED AS

MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

DEDICATION (continued)

VISTA CORRIDOR (VC):
A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THAT PORTION OF THE PROPERTY DESIGNATED AS "VC" ON THIS PLAT, TO PRESERVE PERMANENT DESERT OPEN SPACE, GRANTOR SHALL MAINTAIN THE PROPERTY, INCLUDING ANY IMPROVEMENTS, FREE OF DEBRISS, IN SAFE AND NATURAL CONDITION, GRANTEE MAY ENJOH ANY VIOLATION OF THIS EASEMENT, GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT, HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ELECTRICITY, TELECOMMUNICATIONS, DATA TRANSMISSION, AND ALL OTHER MANNER OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, AND REPLACEMENT OF IMPROVEMENTS RELATED TO UTILITIES. IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY (1) TREES, HEDGES, SHRUBS OR OTHER PLANTS WHICH CAN GROW LARGER THAN 18 INCHES TALL, OR (2) HARDSCAPE, SWIMMING POOLS, SHEDS OR OTHER VERTICAL OR HORIZONTAL

SCENIC CORRIDOR (SC):

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE PERMANENT DESERT OPEN SPACE. HOWEVER, GRANTOR MAY INSTALL VEGETATION, DRIVEWAYS, SIGNAGE, UNDERGROUND PRIVATE UTILITIES AND OTHER IMPROVEMENTS IN THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE. GRANTOR SHALL MAINTAIN THE PROPERTY, INCLUDING ANY IMPROVEMENTS, FREE OF DEBRIS, IN A SAFE AND NATURAL CONDITION. GRANTEE MAY ENJOIN ANY VIOLATION OF THIS EASEMENT GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS FASEMENT HOWEVER THIS FASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER

SIGHT DISTANCE (SD)

A PERPETUAL NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY. IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 18 TO 96 INCHES HIGH ABOVE THE FLEVATION OF THE ADJACENT STREET. HOWEVER, THE GRANTEE MAY ALLOW POLES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

VEHICULAR NON-ACCESS (VNA):
A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT TO PROHIBIT ALL USE OF MOTOR VEHICLES LIPON THE EASEMENT GRANTOR SHALL NOT INSTALL DRIVEWAYS OR OTHER MEANS OF VEHICULAR ACCESS UPON THE EASEMENT. GRANTOR SHALL MAINTAIN THE EASEMENT, INCLUDING ANY IMPROVEMENTS, IN A NEAT, SAFE AND CLEAN CONDITION. GRANTER MAY ENJOIN ANY VIOLATION OF THIS EASEMENT GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT, HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER

WATER AND SEWER FACILITIES (WSF):

WATER AND SEWER FAULILIES (WSF):

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTOR IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY; THAT GRANTOR HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREIN; AND THAT GRANTEE SHALL HAVE TITLE AND QUIET

POSSESSION AGAINST THE CLAIMS OF ALL PERSONS.
THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTOR HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS	DAY	Y OF				, 20.			
GRANTOR:	MCDOWELL (CITRUS 10	00, LLC,	AN	ARIZONA	LIMITED	LIABILITY	LIMITED	COMPANY
BY:									
ITS:									

ACKNOWLEDGMENT

STATE OF ARIZONA

COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF ____ ON BEHALF OF MCDOWELL CITRUS 100 LLC AN ARIZONA LIMITED LIABILITY COMPANY

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY	PUBLIC			MY	COMMISSION	EXPIRES

PARENT PARCEL LEGAL DESCRIPTION

THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA

GENERAL NOTES

- T. THE STREETS ARE PRIVATE STREETS, TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. NORMALLY, AFTER THIS PLAT IS RECORDED, THE CITY OF SCOTTSDALE WILL NOT ACCEPT DEDICATION OF THE STREETS TO THE PUBLIC IN ORDER TO RELIEVE THE PROPERTY OWNERS ASSOCIATION OF STREET MAINTENANCE RESPONSIBILITIES UNLESS ALL STREET IMPROVEMENTS AND RIGHTS-OF-WAY MEET CURRENT APPLICABLE CITY STANDARDS.
- 2 SIGHT DISTANCE TRIANGLES MUST BE CLEAR OF LANDSCAPING SIGNS OR OTHER VISIBILITY OBSTRUCTIONS BETWEEN 2 FEET AND 7 FEET IN HEIGHT AND 6 INCHES MAXIMUM WIDTH OR DIAMETER.
- 3. THIS DEVELOPMENT IS ON THE CITY OF SCOTTSDALE WATER SYSTEM, WHICH HAS A CERTIFICATION OF
- 4. IMPROVEMENTS WITHIN PUBLIC UTILITY EASEMENTS SHALL BE LIMITED TO WOOD, WIRE, OR REMOVABLE
- 5. THE ESTATES AT HAYDEN COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRACTS AND FASEMENTS.
- 6. THIS PLAT LIES WITHIN CLOSE PROXIMITY TO THE SCOTTSDALE AIRPORT (THE "AIRPORT"), WHICH IS LOCATED BETWEEN FRANK LLOYD WRIGHT BOULEVARD ON THE NORTH, PIMA ROAD ON THE EAST, THUNDERBIRD ROAD ON THE SOUTH AND SCOTTSDALE ROAD ON THE WEST. THE AIRPORT IS A GENERAL AVIATION RELIEVER/COMMERCIAL SERVICE AIRPORT FOR THE SCOTTSDALE-NORTH PHOENIX
- 7. ALL DIMENSIONS SHOWN HEREON ARE MEASURED AND RECORD UNLESS OTHERWISE NOTED.
- 8. WHEN PRACTICAL TO DO SO, INTERIOR PROPERTY CORNERS AND STREETS SHALL BE MONUMENTED AS WHEN PRACTICAL TO DO SO, INTERIOR PROPERTY CORNERS AND STREETS SHALL BE MONOMENTED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS AND VERIFIED BY THE CITY INSPECTION SERVICES. IF SUCH MONUMENTS SHOULD DIFFER FROM THE TYPE DESCRIBED ON THE PLAT, A RECORD OF SURVEY SHALL BE RECORDED SHOWING THESE DIFFERENCES. ALL MONUMENTS SET SHALL BE UNDER THE DIRECT SUPERVISION OF THE REGISTRANT OF RECORD. IF FOR ANY REASON THE REGISTRANT OF RECORD IS NOT AVAILABLE TO SUPERVISE THE SETTING OF THE MONUMENTS, THE RECORDING OF THE FINAL PLAT, THE REPLACEMENT REGISTRANT SHALL SET THE MONUMENTS WITH THEIR REGISTRATION NUMBER AND A RECORD OF SURVEY RECORDED IN ACCORDANCE WITH THE CITY DESIGN STANDARDS AND POLICY MANUAL.
- AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID.
 THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S

BENCHMARK

ASSESSOR PARCEL NUMBER

CITY OF SCOTTSDALE BENCHMARK NO 1112 APN: 216-47-012B

CAREFREE & HAYDEN ELEVATION = 2400.11 FEET (NAVD 88)

FLOOD PLAIN CERTIFICATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C0895L, DATED OCTOBER 16, 2013 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X": AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

AND ALSO THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE": SPECIAL FLOOD HAZARD AREAS WITH A BASE

THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENT HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODPLAIN AND STORMWATER REGULATIONS

ZONING

PROPERTY IS R1-43 ESL (SINGLE FAMILY RESIDENTIAL DISTRICT), PER CITY OF

SETBACK TABLE

FRONT

AREA SUMMARY TABLE					
DESCRIPTION	AREA (SF)	AREA (ACRES)			
LOTS 1 THROUGH 5	1,166,767	3.8285			
TRACTS A, B AND C	228,767	5.2517			
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AVERAGE LOT AREA	33,353	0.7657			

SHEET INDEX

COVER SHEET AND NOTES

CURVE, LINE, LOT AND TRACT TABLE, ESL NOTES, NAOS TABLE, KEY MAP PLAN



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OWNER

MCDOWELL CITRUS 100, LLC 3321 E BASELINE ROAD GILBERT, AZ 85234

SURVEYOR

EPS GROUP, INC 1130 N. ALMA SCHOOL ROAD, SUITE 120 MESA, ARIZONA 85201 TFI: (480) 503-2250 CONTACT: MARY KENNEDY RIS

DEVELOPER

BLANDFORD HOMES 3321 EAST BASELINE ROAD GILBERT, AZ 85234 (480) 892-4492

ENGINEER

KIMLEY-HORN & ASSOCIATES 7740 N. 16TH STREET, SUITE 300 PHOENIX, ARIZONA 85020 TEL: (602) 371-4533 CONTACT: CURTIS BROWN, PE

REFERENCE DOCUMENTS:

- (R1) FINAL PLAT OF SUNFLOWER ESTATES, BOOK 672, PAGE 46, MCR
- (R2) FINAL PLAT OF WESTLAND ESTATES, BOOK 451, PAGE 50, MCR (R3) FINAL PLAT OF CORTONA, BOOK 567, PAGE 34, MCR
- (R4) GDACS SURVEY, BOOK 640, PAGE 6, MCR

BASIS OF BEARINGS

THE NORTH MONUMENT LINE OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 5 NORTH, RANGE 4 EAST, G&SRM MARKED BETWEEN THE FOUND US GLO BRASS CAP IN DIRT HANDHOLE AT THE NORTHWEST CORNER AND THE FOUND CITY OF SCOTTSDALE BRASS CAP FLUSH, PER FINAL PLAT SUNFLOWER ESTATES, BOOK 672, PAGE 46, MARICOPA COUNTY RECORDS. THE BEARING OF WHICH IS:

NORTH 89 DEGREES 49 MINUTES 03 SECONDS EAST

CITY OF SCOTTSDALE COUNCIL PLAT APPROVAL

APPROVED BY THE CITY COUNCIL, SCOTTSDALE, ARIZONA THIS THE DAY OF, 20	
BY:	
ATTEST BY:	
PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.	
BY: DATE	
THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO AND ZONING CASE(S) NC AND ALL CASE RELATED STIPULATIONS.	
BY:	

LAND SURVEYOR CERTIFICATION

THIS IS TO CERTIFY THAT

MARY F. KENNEDY

I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA

- THIS PLAT WAS MADE UNDER MY DIRECTION
 THIS PLAT MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS"
- THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE
- DURING THE MONTH OF NOVEMBER, 2020
 THE SURVEY IS TRUE AND COMPLETE AS SHOWN
- ALL MONUMENTS AS SHOWN EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED







16-425.01 FP01

RIZONA 811

MFK

Sheet No. of 4 CLIRVE TARLE

CURVE LENGTH RADIUS DELTA CHORD CHORD BRG

31.10' 19.09' 93°21'00" 27.77' S46°48'19"W

	LINE TABLE			LINE TABLE				LINE TABL	E
LINE	BEARING	LENGTH		LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S89*50'56"W	25.00'		L39	S75*43'00"E	45.76'	L77	S34*41'47"W	28.32'
L2	S89*50'56"W	8.00'		L40	N88*09'14"E	17.52	L78	S50*41'37"W	19.81
L3	S89*50'56"W	483.94		L41	S71*09'54"E	74.31	L79	S34*49'20"W	13.63
L4	S89*50'55"W	21.31'		L42	S87*26'17"E	12.25	L80	S06*42'53"E	16.53
L5	N90'00'00"E	23.16		L43	S46*43'22"W	38.91	L81	S49*21'12"W	12.92
L6	N14*02'47"E	10.47		L44	N90*00'00"W	4.49'	L82	S32*06'10"W	22.33'
L7	N14*27'16"W	13.99'		L45	S00*02'01"W	91.10'	L83	S56*44'13"W	4.64'
L8	S89*50'56"W	52.63'		L46	N00*01'02"E	477.40'	L84	N00*02'01"E	120.40'
L9	S00*01'02"W	79.15'		L47	N00*01'02"E	45.94	L85	N00*02'01"E	207.60'
L10	S73*22'16"W	3.73'		L48	N90*00'00"W	72.00'	L86	N82*31'09"W	4.33'
L11	S32*00'29"W	6.88'		L49	N41*01'49"W	3.33'	L87	N87*46'47"W	8.01
L12	S32*36'30"W	8.99'		L50	N90°00'00"E	121.61	L88	S86*45'27"W	24.20'
L13	S33*26'38"W	19.46		L51	N56*44'13"E	2.56	L89	S89"18'28"W	16.66
L14	S35*58'32"W	26.19		L52	N56*44'13"E	14.73	L90	S77*56'46"W	16.54
L15	S38*08'43"W	63.77		L53	S66'50'28"W	9.48'	L91	N00°00'55"E	3.86'
L16	N89*34'47"W	3.77'		L54	S83*51'28"W	5.87	L92	S78*33'21"W	16.12'
L17	N85*51'21"W	4.27'		L55	N00°00'55"E	26.12	L93	S00°02'01"W	8.69'
L18	S67"18'31"W	29.30'		L56	S20*55'51"W	8.00'	L94	N82*31'09"W	14.73
L19	S00*02'01"W	207.55		L57	N00*00'55"E	57.48	L95	N87*53'22"W	27.02
L20	N00°02'01"E	120.78		L58	S00*00'05"E	42.12	L96	N21'57'32"W	19.14'
L21	N43'38'47"E	41.93'		L59	S00'00'05"E	7.40'	L97	N90'00'00"E	136.96'
L22	N00'00'00"E	23.14'		L60	N00°00'05"W	38.33'	L98	S01"08'26"E	2.03'
L23	N90'00'00"E	44.91'		L61	N00°00'05"W	6.88'	L99	S11*10'38"W	49.55
L24	N63*16'57"E	42.69'		L62	S00'00'00"E	12.34'	L100	N52*07'36"E	49.67
L25	N90'00'00"E	29.94		L63	N00°01'02"E	22.67'	L101	N89*47'55"E	65.07
L26	N00'00'00"E	6.77'		L64	N00°01'02"E	298.29	L102	S00"12'05"E	20.50
L27	N27*31'54"W	23.76		L65	S26"22'02"W	22.55	L103	N89*47'55"E	45.17
L28	N12*06'13"W	20.21		L66	N00°01'02"E	23.26'	L104	N00°00'55"E	34.50'
L29	N16*42'40"W	26.52		L67	N89*50'00"E	30.00'	L105	S08*53'03"E	40.45
L30	N47*22'29"E	43.76		L68	S8415'42"W	33.43'	L106	S09*22'36"W	49.02'
L31	N89*07'09"E	18.36		L69	N19*47'23"W	25.13	L107	S89*47'55"W	65.07'
L32	S32*55'29"E	28.58'		L70	S87*26'17"E	8.01'	L108	S52*07'36"W	48.48'
L33	S66"18"08"E	33.01		L71	N00*01'02"E	8.15'	L109	N00*02'01"E	2.71
L34	S8712'34"E	23.19'		L72	N41*01'49"W	13.78	L110	N00*02'01"E	2.68'
L35	N46*31'23"E	53.33'		L73	N11'39'49"W	39.88'	L111	S89*52'47"W	30.72
L36	N85'56'36"E	28.78'		L74	N05*38'05"E	19.86	L112	S89*50'57"W	8.00'
L37	S60*43'37"E	26.55		L75	N06*15'31"W	20.44			
L38	S61*37'29"E	11.88'		L76	S75'24'28"W	9.41'			

TRACT USE TABLE							
TRACT	USE	AREA (SF)	AREA (AC)				
Tract A	PRIVATE ACCESS WAY, PUBLIC UTILITY, WATER AND SEWER FACILITIES EASEMENT, DRAINAGE EASEMENT, EMERGENCY AND SERVICE ACCESS EASEMENT	22,395	0.5141				
Tract B	NATURAL AREA OPEN SPACE, OPEN SPACE, DRAINAGE EASEMENT, PUBLIC UTILITY EASEMENT, SCENIC CORRIDOR EASEMENT, DRAINAGE AND FLOOD CONTROL, WISTA SCENIC CORRIDOR EASEMENT, PUBLIC UTILITY EASEMENT	186,059	4.2713				
Tract C	OPEN SPACE, DRAINAGE EASEMENT, SCENIC CORRIDOR EASEMENT	20,312	0.4663				

USES ARE BLANKET, UNLESS SHOWN IN SPECIFIC LOCATIONS WITHIN THE TRACTS ON SHEET 3 AND 4.

PROVIDED NAOS	
Undisturbed NAOS Area	3.72 ac
Revegetated NAOS	0.00 ac
Total Provided NAOS	3.72 ac
Non-NAOS Open Space	1.55 ac
52%	Open Space

LOT AREA TABLE								
LOT #	AREA (SF)	AREA (AC)						
1	32,474	0.7455						
2	33,792	0.7758						
3	34,172	0.7845						
4	32,843	0.7540						
5	33,486	0.7687						
	LOT # 1 2 3 4	LOT # AREA (SF) 1 32,474 2 33,792 3 34,172 4 32,843						

CITY OF SCOTTSDALE SITE PLAN NOTES (ESL ZONING)

- 1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS ON TO AN ADJACENT LOT, OR TRACT OF LAND. (ZO SEC. 6.1100.B.1.; AND DS&PM 2-2.501.D.4.C.)
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP, ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACKTIN BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAY.
- 4. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.C. AND SEC. 5.102.A.6.C.)
- A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.012.A.6.B. AND SEC. 5.102.A.6.B.)
- EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN THE MUNISEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTISDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE. (ZO SEC. 6.1070.G.1.H.)
- 7. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST. (ZO SEC.
- 8. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS. (ZO SEC.6.1070.G.1.D.)
- PLANT MATERIALS NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM A LOWER ELEVATION. (ZO SEC.6.1070.G.1.1-J.)
- 10. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED. (DS&PM 2-2.501.A.2.)
- 11. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNITARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SUPFACES, SHALL BE TEXTURED OF HAVE A MATTE OR NON-REFLECTIVE SUPFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY. (ZO SEC. 6.1070.G.1.B.)
- 12. MIRRORED SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORED SURFACE ARE PROHIBITED. (ZO SEC. 6.1070.G.1.A.)
- 13. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND IN SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT. (ZO SEC. 6.1070.G.I.E.)
- 14. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSINI NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE. (ZO SEC. 6.1070.G-1.L.)
- LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS. (ZO SEC. 6.1060.A.3-4 AND SEC. 6.1100.B.1.)
- 16. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES. (20 SEC. 6.1070.G.1.F AND SEC. 6.1004.D.1.)
- 17. ALL EXTERIOR LIGHTS INCLUDING THOSE MOUNTED TO BUILDINGS/STRUCTURES AND ON POLES SHALL NOT EXCEED A HEIGHT OF SIXTEEN (16) FEET. (20 SEC. 6.1004.D.2.). EXEMPTION: LIGHTS THAT ASC CONNECTED TO A DELAY SWITCH THAT DO NOT STAY ON MORE THAN 15 MINUTES FOR SECURITY PURPOSES SHALL NOT BE REQUIRED TO BE SHIELDED OR CONTAIN HORIZONTAL CUTOFFS. (20 SEC.
- 18. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIMPOINT. EXTERNOR PLICING SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEED MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF). (ZO SEC. 6.1070.6.17)
- WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE. (DS&PM 2-2.501.B.2.B.)
- 20. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 7.700 AND SEC. 6.1071.A.6, AND DS&PM 11.407)
- IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN. (ZO SEC. 6.1070.A.S)
- 22. NO PAINT COLOR OR SURFACE TREATMENT SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%. (ZO SEC.6.1070.G.1.G.&K)

LEGEND

- FND MON. FLUSH AS NOTED
- FND MON. AS NOTED
- O SET #4 REBAR W/CAP RLS 21071
- FND FOUND
- MCR MARICOPA COUNTY RECORDER
- DOC DOCUMENT
- DKT DOCKET
- BK BOOK PG PAGE
- DOLLNIDADY LINE

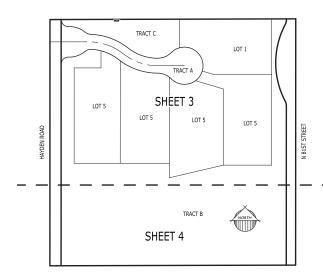
BOUNDART LINE
LOT LINE
PARCEL LINE
SECTION LINE
MID-SECTION LINE
CENTER LINE ROAD
EXISTING R/W
EXISTING PUE LINE

NEW R/W NEW EASEMENT LINE

(DEDICATED HEREON) ESA EMERGENCY AND SERVICES ACCESS EASEMENT (DEDICATED HEREON)

DFC DRAINAGE AND FLOOD CONTROL

- NAOS NATURAL AREA OPEN SPACE EASEMENT (DEDICATED HEREON)
- PUBLIC UTILITY (DEDICATED HEREON)
- SCENIC CORRIDOR EASEMENT (DEDICATED HEREON)
- SIGHT DISTANCE EASEMENT (DEDICATED HEREON)
- VNA VEHICULAR NON ACCESS (DEDICATED HEREON)
- WATER AND SEWER FACILITIES FASEMENT
- (DEDICATED HEREON) VISTA CORRIDOR EASEMENT
- (DEDICATED HEREON)
- NDE NO DEVELOPMENT SETBACK EASEMENT (DEDICATED HEREON)



KEY MAP NOT TO SCALE

| F:480.835. oupinc.c 1130 N. Alma Scho Mesa, AZ 85201 T:480.503.2250 | w w w . e p s g r o



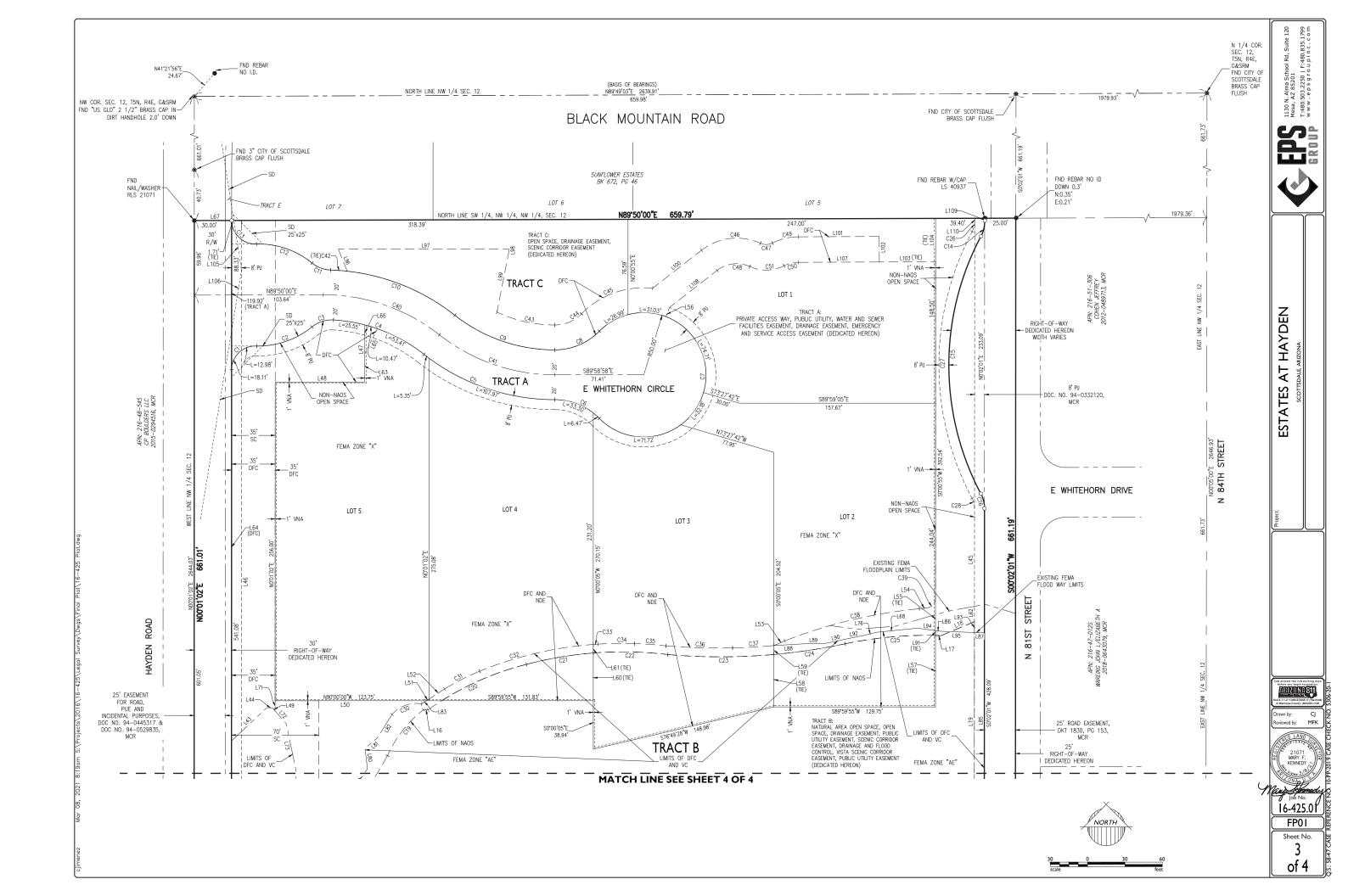
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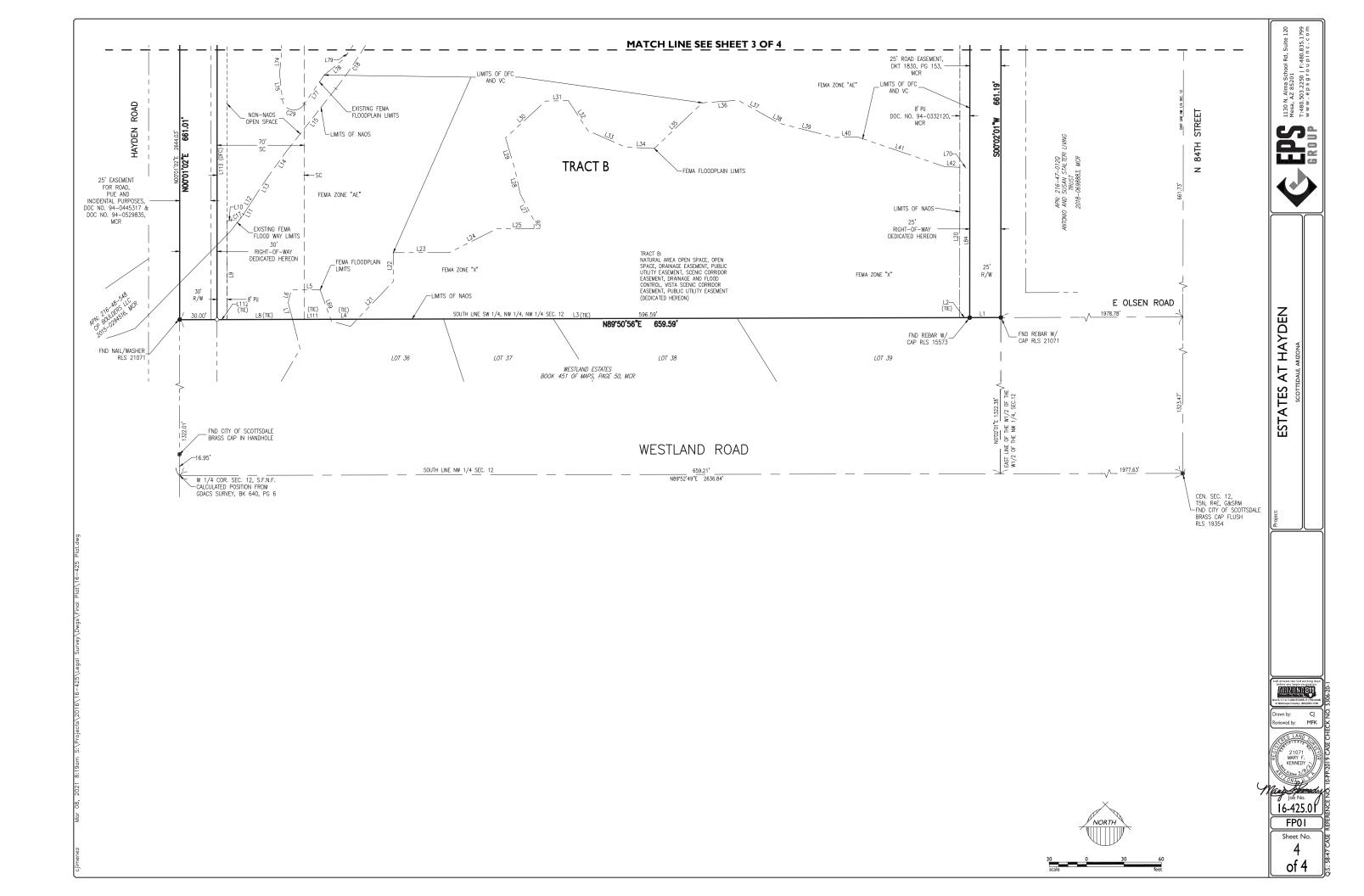
TRIZONA 811

MFK

FP01

Sheet No. of 4











HAYDEN

AT

ESTATE

PROJECT NO :

REVIEWED

ARIZONA

SCOTTSDALE,

PLAN CHECK NUMBER: 5306-20

19002592 12/23/2020 KP/RT/TB BG/MD

HARDSCAPE KEYNOTES

- 1 VISIBILITY EASEMENT, ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0".
- 2) 5' COMPACTED DG TRAIL, REFER TO DETAIL 5 / L3.02
- (3) GATE OPERATOR ON CONCRETE PAD, BY OTHERS
- (4) ENTRY MONUMENT, REFER TO DETAIL 1 / L3.02
- 5) 3'-4' LOW WALL, 4' LANDSCAPE WALL REFER TO DETAIL 2 / L3.02
- 6 GATE COLUMN, REFER TO DETAIL 3 / L3.01
- 7 VEHICULAR GATES, REFER TO DETAIL 1 / L3.01
- 8 VISITOR ENTRY KEY PAD
- 9 PREFABRICATED VEHICLE LOOP SENSOR
- (10) FIRE DEPARTMENT R.F. ACCESS
- 11) HOMEOWNER R.F. ACCESS RECEIVER
- (12) FIRE DEPARTMENT KNOX KEY SWITCH
- (2) 4" SCHEDULE 80 PVC SLEEVES
- (14) MAILBOX, REFER TO DETAIL 4 / L3.01
- (15) ELECTRICAL PANEL AND EQUIPMENT, SEE SITE ELECTRICAL PLANS

PAVING SCHEDULE

24" WIDE CONCRETE BAND, SMOOTH FINISH, COLOR: SAN DIEGO BUFF INSTALL PER MAG DETAIL 225

ACKERSTONE VEHICULAR PAVERS, STREET STONE II
COLOR BLEND: DESERT BLEND, INSTALL PER MANUF.
SPECIFICATIONS, INSTALL PER MAG DETAIL 225

5' WIDE STABILIZED ROCK TRAIL - 1/4" MINUS PALO VERDE BROWN, REFER TO ARCHITECTURAL SET, DETAIL 5 / L3.02.

HARDSCAPE PLAN

SHEET 3 OF 5

HARDSCAPE GENERAL NOTES 1. THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR ALL FORMWORK ALIGNMENT SHALL BE STRAIGHT AND EVEN. RADII AND CURVES ARE TO HAVE SMOOTH, CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS. JOINT LOCATIONS NOT SPECIFICALLY INDICATED ON THE PLANS SHALL BE EVENLY SPACED AND VISUALLY INDICATED. ALL REINFORCING STEEL, DOWELS, ANCHOR BOLTS, AND OTHER INSERTS SHALL BE FIRMLY SECURED IN THE PROPER POSITION PRIOR TO PLACING CONCRETE. 4 ALL FLATWORK SHALL BE LAID WITH A CONSTANT SLOPE BETWEEN TWO SPOT FLEVATIONS NGES IN SLOPE SHALL BE ACCOMPLISHED IN A GRADUAL MANNER. ALL HARDSCAPE SHALL SLOPE AWAY FROM BUILDINGS AT 1% SLOPE UNLESS NOTED OTHERWISE ON DRAWINGS. 5. NEW CONCRETE PAVING SHALL MATCH EXISTING IN COLOR AND TEXTURE, UNLESS NOTED 6. IT IS RECOMMENDED THAT THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER TO PERFORM NECESSARY TESTING AND INSPECTIONS FOR QUALITY CONTROL TO ENSURE THAT THE REQUIREMENTS REFERENCED ARE COMPLIED WITH.

7. THE LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR

ALL STEEL SURFACES SHALL BE CLEAN AND FREE OF OILS, BURRS, WELD RESIDUE AND OTHER DELETERIOUS MATERIALS PRIOR TO FINISHING.

11. WELD CONNECTIONS CONTINUOUS AND SOLID. REMOVE ANY SPLATTER AND SLAG AND GRIND

14. REINFORCING MARKED "CONTINUOUS" MAY BE SPLICED WITH A LAP OF 30 BAR DIAMETERS (2'-0" MINIMUM) IN CONCRETE, 40 BAR DIAMETERS (2'-6" MINIMUM IN MASONRY), UNLESS NOTED

ALL REINFORCING SHALL BE SUPPORTED IN CONFORMANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES" LATEST EDITION.

16. REINFORCING SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS OTHERWISE INDICATED:

12. BOLTS TO BE CADMIUM PLATED OR STAINLESS STEEL.

WALLS @ 1-1/2"

FORMED SURFACE IN CONTACT WITH EARTH @ 2"

SURFACE DEPOSITED DIRECTLY AGAINST EARTH @ 3"

COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.

21. WATERPROOF ALL MASONRY BELOW GRADE.

16. ANY DOWELS USED SHALL BE EQUAL IN SIZE AND SPACING TO VERTICAL BARS.

17. MASONRY UNITS: SHALL BE GRADE "N" TYPE I CONFORMING TO LATEST ASTM STANDARD SPECIFICATION C-90 AND MANUFACTURED IN ACCORDANCE WITH "CONCRETE MASONRY

ASSOCIATION" STANDARDS. SPECIALTY BLOCK SHALL BE AS NOTED ON PLANS.

20. PORTLAND CEMENT: SHALL BE TYPE II AND CONFORM TO LATEST ASTM STANDARD

18. MORTAR: SHALL BE TYPE S, CONFORMING TO ASTM C270, WITH A 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI.

19. GROUT: FRESHLY PREPARED AND UNIFORMLY MIXED. GROUT SHALL BE COMPOSED BY VOLUME OF 1 PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, TO WHICH MAY BE ADDED NOT MORE THAN ONE-TENTH PART LIME. WATER SHALL BE ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENTS. GROUT SHALL ATTAIN A

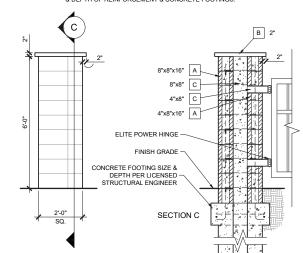
13. CAP EXPOSED ENDS OF TUBING.

MEMBER SIZES INDICATED ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL ENGINEER FOR STRUCTURAL INTEGRITY. FIELD VERIFY DIMENSIONS OF ADJACENT AND ADJOINING WORK. REPORT ANY DISCREPANCIES TO OWNER AND/OR LANDSCAPE ARCHITECT.

WELDS SMOOTH. PREPARE SURFACE FOR PAINTING TO CLEAN, SMOOTH, AND FREE OF OBJECTIONABLE MATERIAL. WASH, STEAM CLEAN, SANDBLAST, OR WIRE BRUSH TO BASE METAL.

THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED IN THE DRAWINGS

ARCHITECT



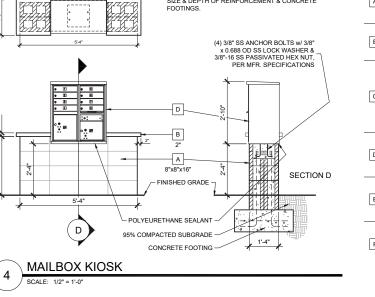
Gate Column

REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR SIZE

REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR SIZE & DEPTH OF REINFORCEMENT & CONCRETE 3/8"-16 SS PASSIVATED HEX NUT 8"x8"x16 FINISHED GRADI - POLYFURETHANE SEALANT (D) 95% COMPACTED SUBGRADE 1'-4" CONCRETE FOOTING MAILBOX KIOSK

2'-0"

SECTION A



A 8"x8"x16"

REINFORCEMENT SIZE &

QUANTITY PER LICENSED STRUCTURAL ENGINEER

- 95% COMPACTED SUBGRADE

CONCRETE FOOTING SIZE &

FINISH GRADE

ITEM COLOR WALNUT CREEK FINISH SPECIFICATIONS STACK BOND, ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE FLUSH. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) MANUFACTURER MASONRY CAP ADOBE, DAVIS COLORS STANDARD COLOR FINISH SPECIFICATIONS MANUFACTURER ALL BLOCK SIZES PER PLANS & DETAILS.
SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) TUBULAR STEEL COLOR SW7020 'BLACK FOX' ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL **SPECIFICATIONS** ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT С PER PAINT MFR'S SPEC'S. MANUFACTURER LOCALLY SOURCED SHERWIN-WILLIAMS (1.800.4 SHERWIN www.sherwin-williams.co MAILBOX BRONZE MANUFACTURER SALLBURY INDUSTRIES www.mailboxes.com, 800-624-5269 COLOR BI ACK STANDARD SPECIFICATIONS 9" HEIGHT PER DETAIL. PIN MOUNTED TO SIGN FACE FONT BY OWNER MANUFACTURER LOCAL SIGN MER ITEM COLOR RUSTED & SEALED FINISH SPECIFICATIONS F TYPE 1: 1.5" SQ. OPENING, CARBON STEEL, COLD ROLLED, INTERCRIMP WEAVE, 10 GAUGE (.135") WIRE Ø TYPE 2: 4" SQ. OPENING, CARBON STEEL COLD ROLLED, INTERCRIMP WEAVE 2.75 GALIGE (.25") WIRE Ø

HARDSCAPE SCHEDULE

INTERCRIMP WEAVE, 2.75 GAUGE (.25") WIRE Ø
ALL WELDS & SHARP CORNERS / EDGES SHALL BE
GROUND SMOOTH. ACCELLERATE THE RUSTING
PROCESS WI A SALINE OR ACID SOLUTION. ONCE
DESIRED LEVEL OF RUSTING IS ACHIEVED (AS
APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT)
AND EXTERDITY EXALED DED MEDIS SEPCIS APPLY EVERBRITE SEALER PER MFR'S. SPEC'S. ANUFACTURER McNICHOLS (www.mcnichols.com, 877.759.5128) EVERBRITE (www.eberbritecoatings.com, 800.304.0566)

B 2" A 8"x8"x16" LOT SIDE FINISH GRADE RETAINING WALL PER CIVIL WRAP WITH FILTER FABRIC

CONCRETE FOOTING SIZE &
- DEPTH PER LICENSED
STRUCTURAL ENGINEER

1" PVC WEEP AT 6' O.C

RETAINING CONDITION

THEME WALL 2 4'-0" LANDSCAPE WALL SEE DETAIL 2. SHEET L3.02

PEDESTRIAN GATE GATE COLUMN SEE DETAIL 3, SHEET L3.02 SEE DETAIL 3, SHEET L3.01 C 2" SQ. C 3" SQ. C 1" SQ. 12'-6" FIELD VERIFY 12'-6" FIELD VERIFY 5'-0" COMPACTED DG TRAIL 26'-0" FIELD VERIFY

NOTE: ALL CONCRETE SHALL BE COLORED DAVIS **COLORS 'SAN DIEGO BUFF' OR EQUAL.**

NO MATERIALS OR **COLORS WILL HAVE AN** LRV VALUE GREATER THAN 35%, A CHROMA OF GREATER THAN 6 OR A VALUE GREATER THAN 6 INDICATED IN THE MUNSELL BOOK OF COLOR





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ARIZONA

COTTSDALE

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CHECK NUMBER: 19002592 12/23/2020 KP/RT/TB BG/MD

HARDSCAPE DETAILS

L3.01

SHEET 4 OF 5

VEHICULAR ENTRY GATES

PROJECT NO

REVIEWED







