

**EXCLUSIVE LISTING**  
**ESTATES AT HAYDEN**  
**HAYDEN RD & WESTLAND RD | SCOTTSDALE, ARIZONA**

<b>LOCATION</b>	Site is located North of the Northeast corner of Hayden Rd & Westland Rd, Scottsdale, Arizona
<b>NUMBER OF ACRES</b>	±10.119 Gross / ±9 Net
<b>NUMBER OF LOTS</b>	5 Custom Lots   .75 Acre Minimum
<b>SETBACKS</b>	30' Front Yard / 26' Rear Yard / 15' & 15' Side Yard <i>Note: 35' Setback Required along North side of Lot 1</i>
<b>APPROVED ZONING</b>	R1-43 ESL / City of Scottsdale
<b>PURCHASE PRICE</b>	<b>\$1,500,000   \$300,000/Platted &amp; Engineered Lot</b>
<b>SUGGESTED TERMS</b>	Cash. 60-day Feasibility Period with a close of escrow upon Final Subdivision Plat approval in recordable form with the City of Scottsdale.
<b>UTILITIES</b>	<b>Water</b> City of Scottsdale <b>Sewer</b> City of Scottsdale <b>Electric</b> Arizona Public Service
<b>CONTACT</b>	Grant D. Helgeson, Don McCaul Westland Properties Group
<b>COMMENTS</b>	This is a rare opportunity in the North Scottsdale submarket to purchase Platted & Engineered Lots in a well-located <b>Gated custom lot subdivision</b> . Site is planned to accommodate necessary NAOS requirements. See attached Lot Summary for specific details on each Custom Lot.

[Click Here for HD Aerial Site Video](#)

**ESTATES AT HAYDEN  
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 PROJECT INFORMATION**

**ZONING**

PROPERTY IS R1-43 ESL (SINGLE FAMILY RESIDENTIAL DISTRICT), PER CITY OF SCOTTSDALE.

**SETBACK TABLE**

FRONT 30 FEET  
 REAR 27 FEET  
 SIDE 15 FEET

LOT AREA TABLE		
LOT #	AREA (SF)	AREA (AC)
1	32,474	0.7455
2	33,792	0.7758
3	34,172	0.7845
4	32,843	0.7540
5	33,486	0.7687

**AREA SUMMARY TABLE**

DESCRIPTION	AREA (SF)	AREA (ACRES)
LOTS 1 THROUGH 5	1,166,767	3.8285
TRACTS A, B AND C	228,767	5.2517
RIGHT-OF-WAY	40,584	0.9316
GROSS AREA	436,118	10.0119
MINIMUM LOT AREA	32,474	0.7455
AVERAGE LOT AREA	33,353	0.7657

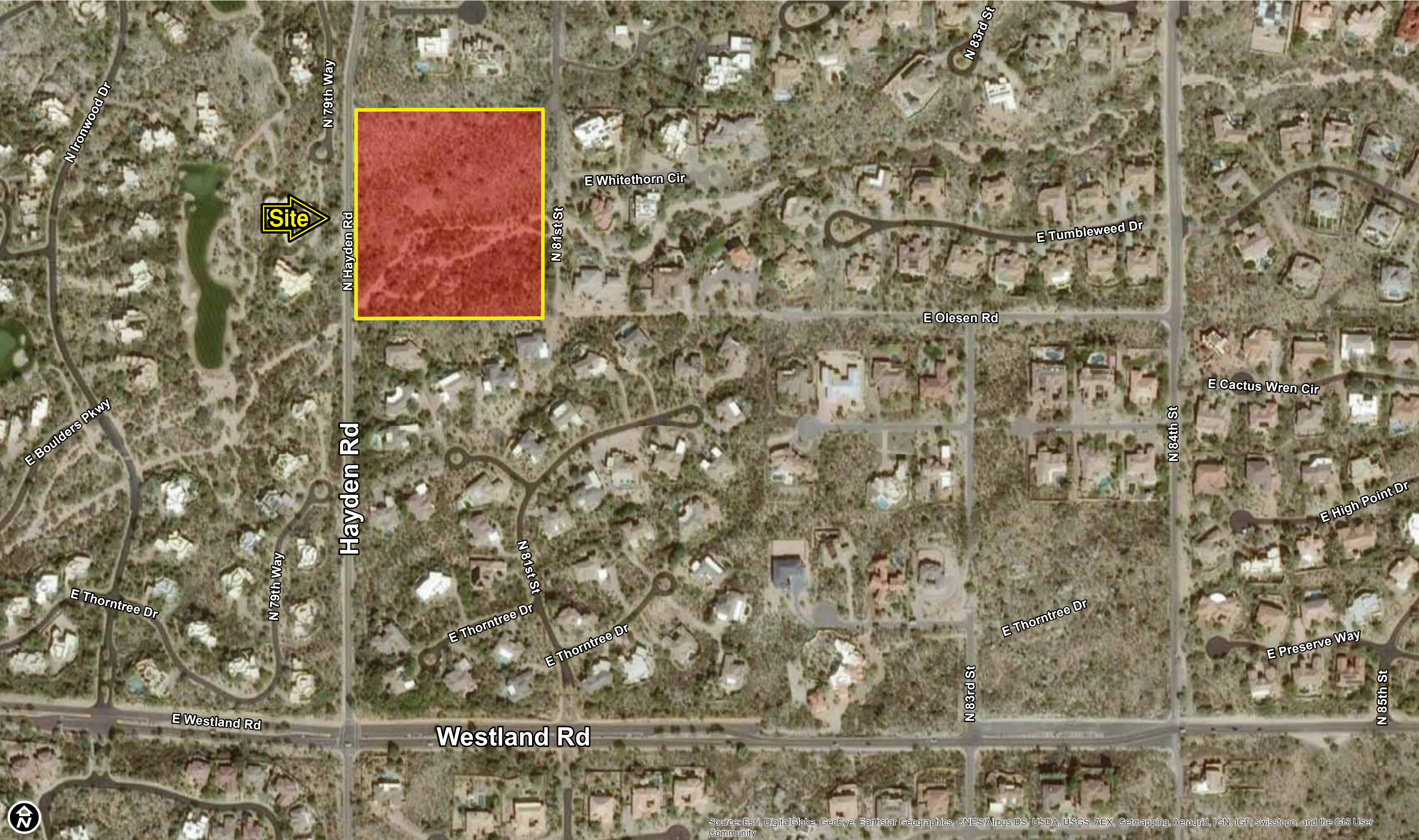
**TRACT USE TABLE**

TRACT	USE	AREA (SF)	AREA (AC)
Tract A	PRIVATE ACCESS WAY, PUBLIC UTILITY, WATER AND SEWER FACILITIES EASEMENT, DRAINAGE EASEMENT, EMERGENCY AND SERVICE ACCESS EASEMENT	22,395	0.5141
Tract B	NATURAL AREA OPEN SPACE, OPEN SPACE, DRAINAGE EASEMENT, PUBLIC UTILITY EASEMENT, SCENIC CORRIDOR EASEMENT, DRAINAGE AND FLOOD CONTROL, VISTA SCENIC CORRIDOR EASEMENT, PUBLIC UTILITY EASEMENT	186,059	4.2713
Tract C	OPEN SPACE, DRAINAGE EASEMENT, SCENIC CORRIDOR EASEMENT	20,312	0.4663

USES ARE BLANKET, UNLESS SHOWN IN SPECIFIC LOCATIONS WITHIN THE TRACTS ON SHEET 3 AND 4.

**PROVIDED NAOS**

Undisturbed NAOS Area	3.72 ac
Revegetated NAOS	0.00 ac
<b>Total Provided NAOS</b>	<b>3.72 ac</b>
Non-NAOS Open Space	1.55 ac
<b>52% Open Space</b>	



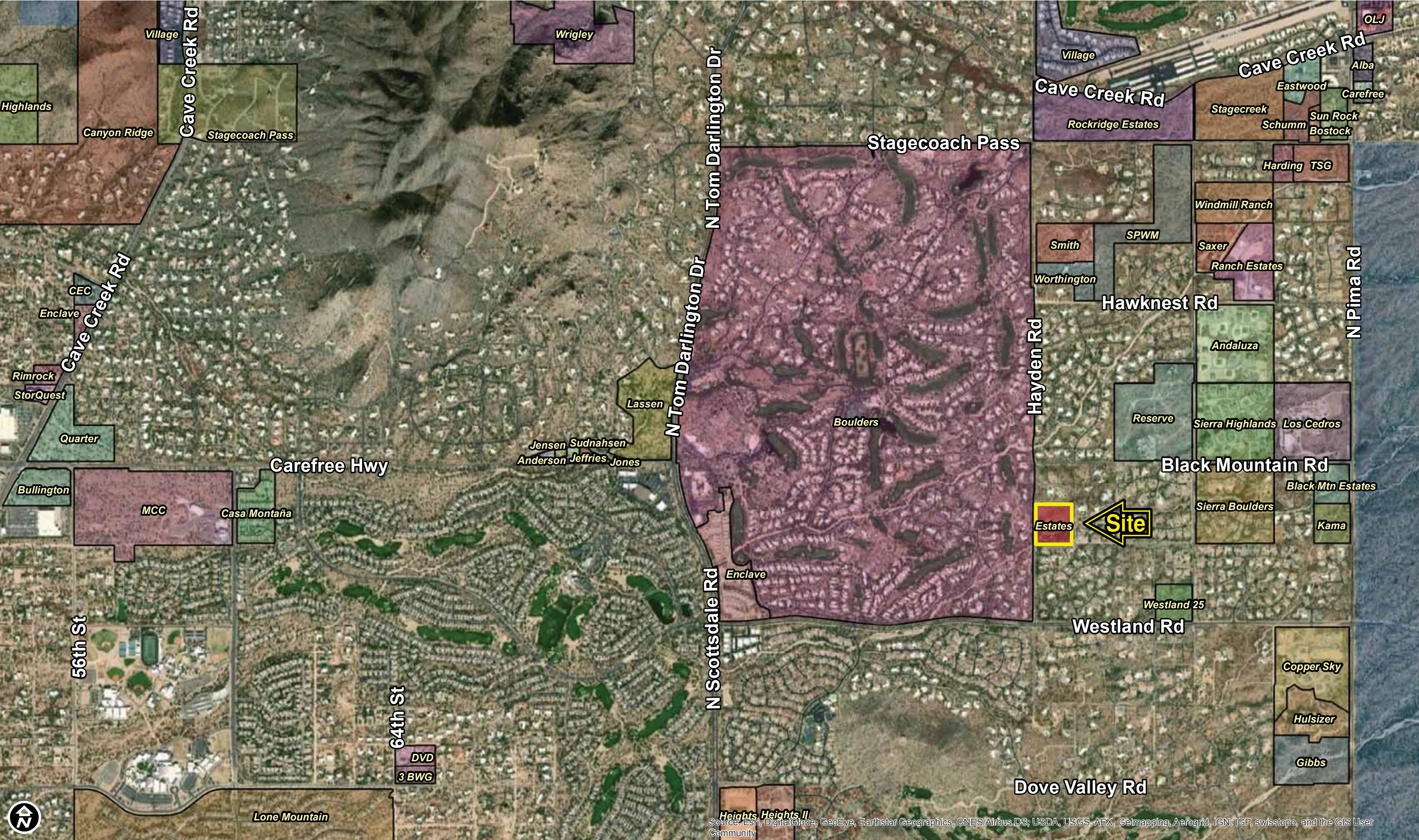
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

**ESTATES AT HAYDEN**  
**5 CUSTOM PLATTED & ENGINEERED LOTS**  
**HAYDEN RD & WESTLAND RD**  
**SCOTTSDALE, ARIZONA**

**Grant D Helgeson, Broker - Direct: (480) 675-5149**

**Don McCaul, Broker - Direct: (480) 675-5144**

**WPG** | WESTLAND PROPERTIES  
GROUP  
8141 E Indian Bend Rd, Ste 103 Scottsdale AZ 85250  
Tel: (480) 443-8570 / Fax: (480) 443-3736  
www.westland-properties.com



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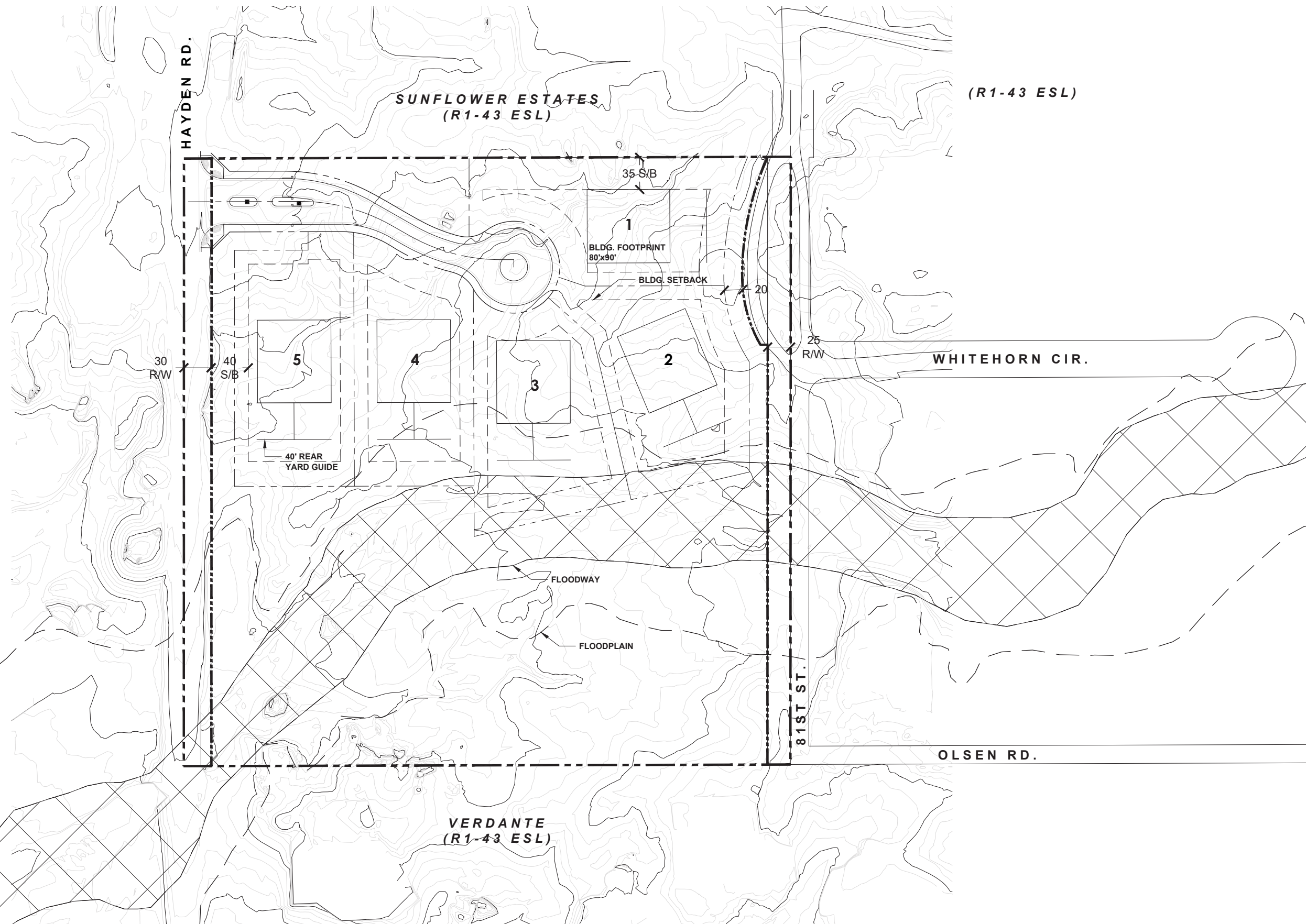
**WPG** | WESTLAND PROPERTIES GROUP  
 8141 E Indian Bend Rd, Ste 103 Scottsdale AZ 85250  
 Tel: (480) 443-8570 / Fax: (480) 443-3736  
 www.westland-properties.com

**Site Data**

Proposed Product Footprint: 80'x90'  
Current Zoning: R1-43  
Proposed Zoning: R1-43 (Amended Development Standards)

**Development Standards**

Minimum Lot Area: 32,350 sf.  
Minimum Lot Width: 113'  
Minimum Front Setback: 30'  
Minimum Side Setback: 15'  
Minimum Rear Setback: 27'



**CROSSING AT THE BOULDERS (R1-18 ESL)**

**(R1-43 ESL)**

**WHITEHORN CIR.**

**OLSEN RD.**

**SUNFLOWER ESTATES (R1-43 ESL)**

**VERDANTE (R1-43 ESL)**

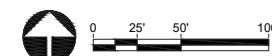
**81ST ST.**

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**ESTATES ON HAYDEN • CONCEPTUAL SITE PLAN**

- 📍 SCOTTSDALE, ARIZONA
- 📅 2019-05-23
- # 1667
- 🏠 BLANDFORD HOMES



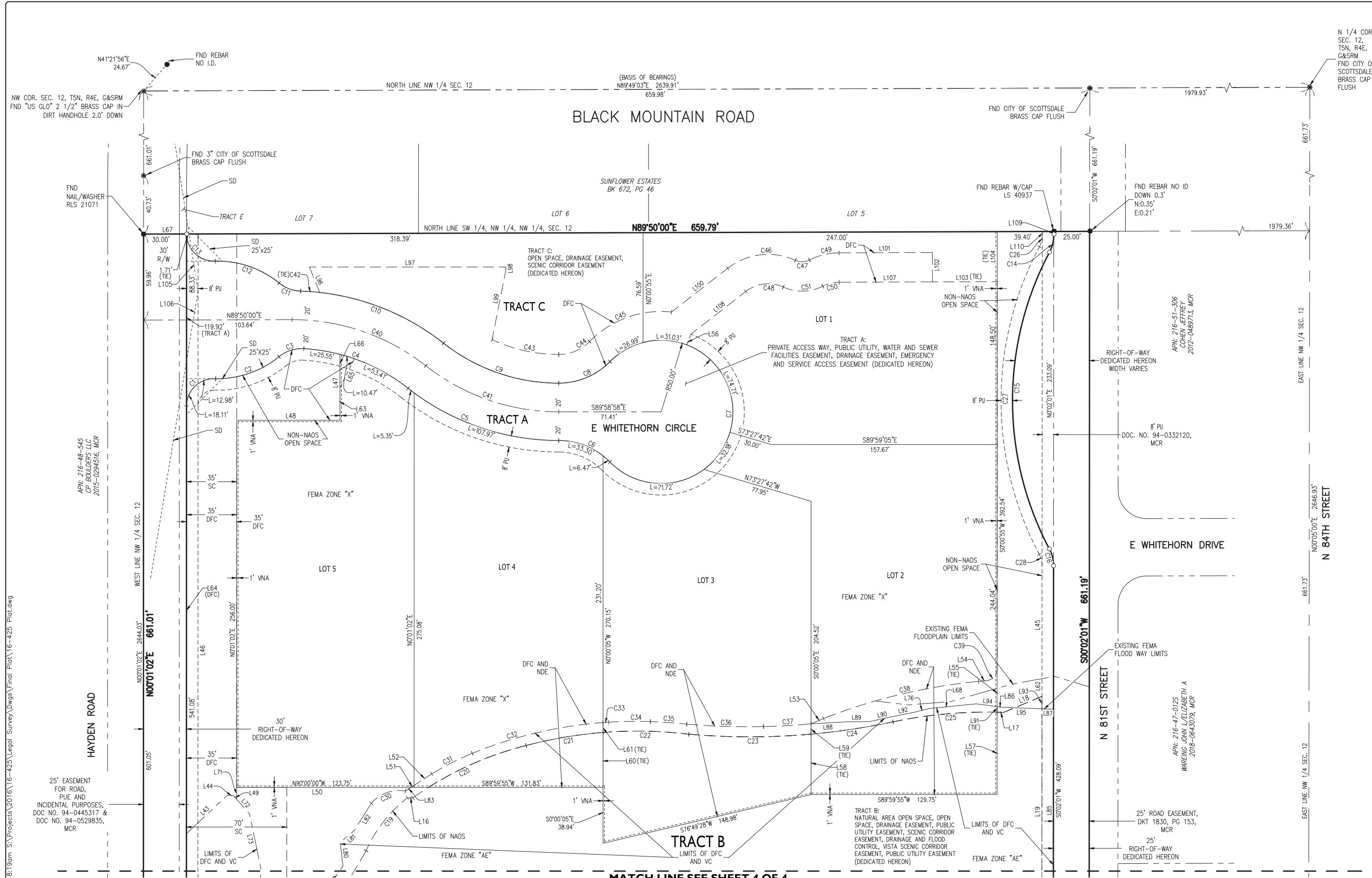
Information furnished regarding this property is from sources deemed reliable. RVI has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.

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MATCH LINE SEE SHEET 4 OF 4

APN: 216-48-545  
CP BOLDERS LLC  
2015-0294516, MCR

25' EASEMENT  
FOR ROAD, PUE AND  
INCIDENTAL PURPOSES,  
DOC NO. 94-0445317 &  
DOC NO. 94-0529835,  
MCR

APN: 216-51-306  
COHEN JEFFREY  
2012-0489713, MCR

APN: 216-47-0125  
WARING JOHN L/ELIZABETH A  
2018-0643079, MCR

NW COR. SEC. 12, T5N, R4E, C&SRM  
FND "US GLO" 2 1/2" BRASS CAP IN  
DIRT HANDHOLE 2.0" DOWN

FND 3" CITY OF SCOTTSDALE  
BRASS CAP FLUSH

FND CITY OF SCOTTSDALE  
BRASS CAP FLUSH

FND REBAR NO ID  
DOWN 0.3'  
N:0.35'  
E:0.21'

N 1/4 COR.  
SEC. 12,  
T5N, R4E,  
G&SRM  
FND CITY OF  
SCOTTSDALE  
BRASS CAP  
FLUSH

1130 N. Alma School Rd, Suite 120  
Mesa, AZ 85201  
T: 480.503.2250 | F: 480.835.1799  
www.epsgroupinc.com

ESTATES AT HAYDEN  
SCOTTSDALE, ARIZONA

Project

Drawn by: CJ  
Reviewed by: MFK

Job No.  
16-425.01

FPOI

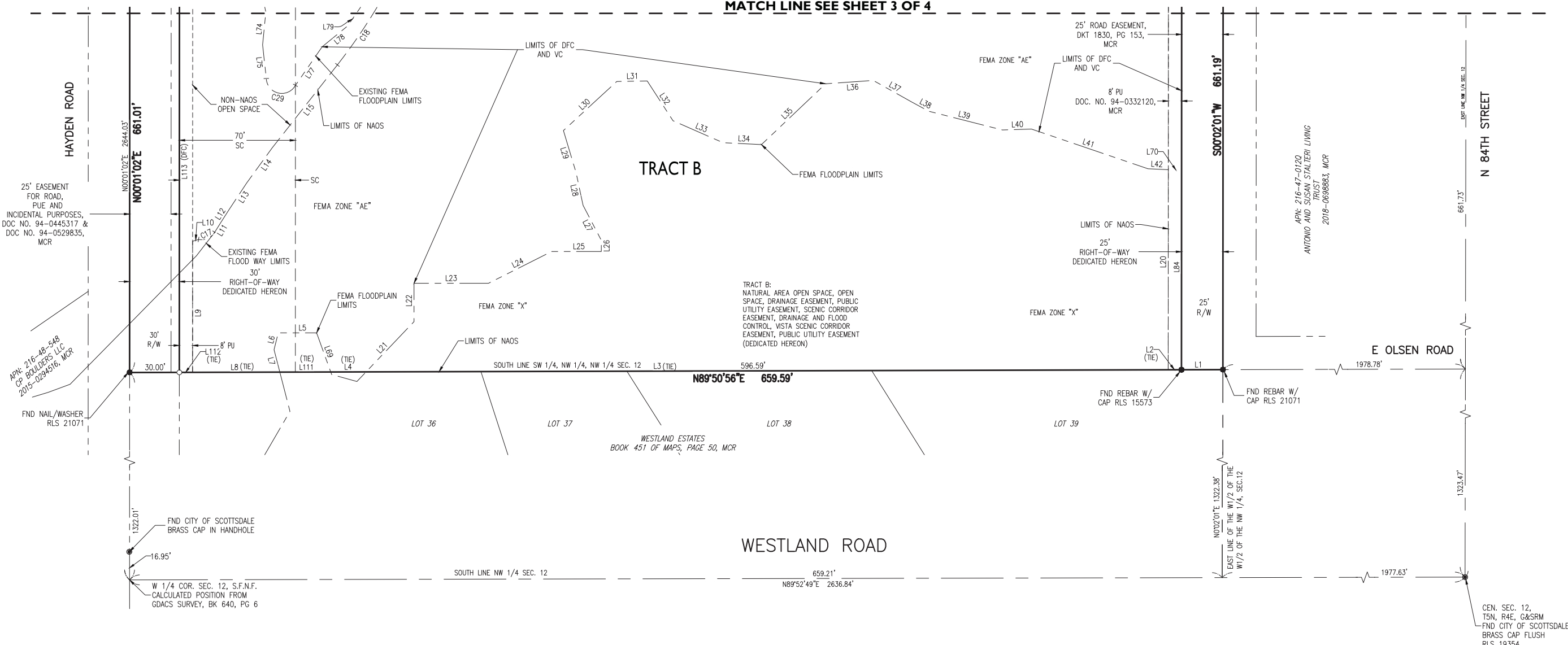
Sheet No.  
3  
of 4



C.S.: 58-47 CASE REFERENCE NO. 10-PP-2017 CASE CHECK NO. 1306-20-1



MATCH LINE SEE SHEET 3 OF 4



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1130 N. Alma School Rd, Suite 120  
 Mesa, AZ 85201  
 T: 480.503.2250 | F: 480.835.1799  
 www.epsgroupinc.com

ESTATES AT HAYDEN  
 SCOTTSDALE, ARIZONA

Project

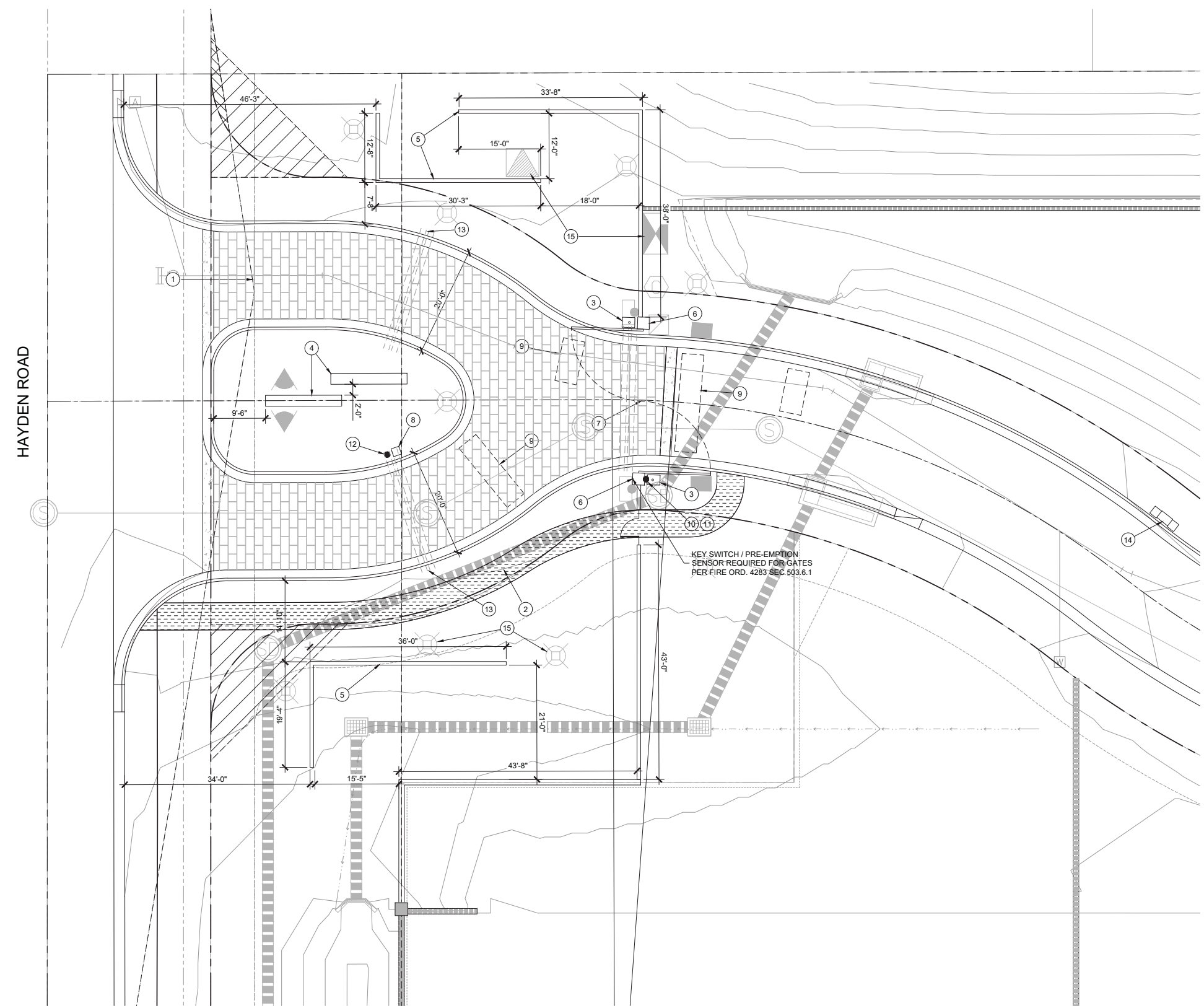
Call at least two full working days before you begin work.  

 Drawn by: CJ  
 Reviewed by: MFK

REGISTERED LAND SURVEYOR  
 21071  
 MARY F. KENNEDY  
 License No. 3187  
 ALABAMA, U.S.A.  
 Mary Kennedy  
 Job No. 16-425.01

FPOI  
 Sheet No.  
 4  
 of 4

CS: 58-47 CASE REFERENCE NO. 10-PP-2019 CASE CHECK NO. 1306-20-1



**\*\*\*NOTE: THE INFORMATION SHOWN ON THIS SHEET PERTAINING TO THE OPERATION OF THE GATES IS INFORMATIONAL ONLY. GATE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE OPERATION OF THE GATE SYSTEM (UNDER A SEPARATE SUBMITTAL & SEPARATE PERMIT).\*\*\***

**HARDSCAPE KEYNOTES**

- 1 VISIBILITY EASEMENT, ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0".
- 2 5' COMPACTED DG TRAIL, REFER TO DETAIL 5 / L3.02
- 3 GATE OPERATOR ON CONCRETE PAD, BY OTHERS
- 4 ENTRY MONUMENT, REFER TO DETAIL 1 / L3.02
- 5 3'-4" LOW WALL, 4" LANDSCAPE WALL REFER TO DETAIL 2 / L3.02
- 6 GATE COLUMN, REFER TO DETAIL 3 / L3.01
- 7 VEHICULAR GATES, REFER TO DETAIL 1 / L3.01
- 8 VISITOR ENTRY KEY PAD
- 9 PREFABRICATED VEHICLE LOOP SENSOR
- 10 FIRE DEPARTMENT R.F. ACCESS
- 11 HOMEOWNER R.F. ACCESS RECEIVER
- 12 FIRE DEPARTMENT KNOX KEY SWITCH
- 13 (2) 4" SCHEDULE 80 PVC SLEEVES
- 14 MAILBOX, REFER TO DETAIL 4 / L3.01
- 15 ELECTRICAL PANEL AND EQUIPMENT, SEE SITE ELECTRICAL PLANS

**PAVING SCHEDULE**

- ACKERSTONE VEHICULAR PAVERS, STREET STONE II COLOR BLEND: DESERT BLEND. INSTALL PER MANUF. SPECIFICATIONS, INSTALL PER MAG DETAIL 225
- 5' WIDE STABILIZED ROCK TRAIL - 1/4" MINUS PALO VERDE BROWN, REFER TO ARCHITECTURAL SET, DETAIL 5 / L3.02.
- 24" WIDE CONCRETE BAND, SMOOTH FINISH, COLOR: SAN DIEGO BUFF. INSTALL PER MAG DETAIL 225

KEY SWITCH / PRE-EMPTION SENSOR REQUIRED FOR GATES PER FIRE ORD. 4283 SEC. 503.6.1

HAYDEN ROAD

ESTATES AT HAYDEN

SCOTTSDALE, ARIZONA

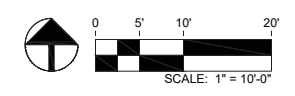
PROJECT NO: 19002592  
DATE: 12/23/2020  
DRAWN: KP/RT/TB  
REVIEWED: BG/MD

REVISIONS


HARDSCAPE PLAN

L2.01

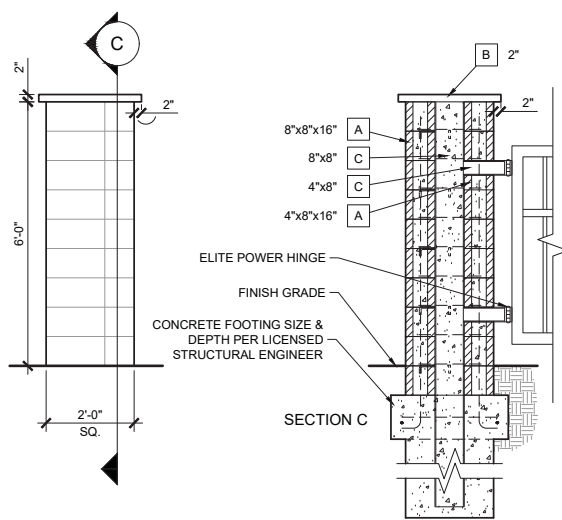
SHEET 3 OF 5



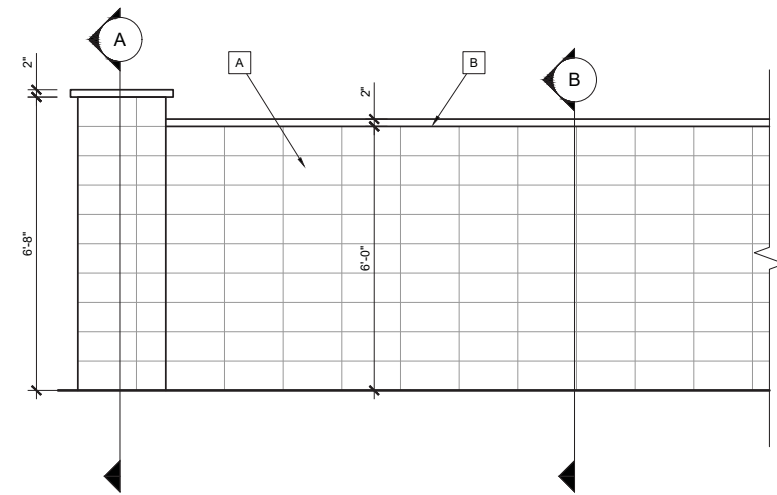
### HARDSCAPE GENERAL NOTES

- THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES.
- ALL FORMWORK ALIGNMENT SHALL BE STRAIGHT AND EVEN. RADII AND CURVES ARE TO HAVE SMOOTH, CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS. JOINT LOCATIONS NOT SPECIFICALLY INDICATED ON THE PLANS SHALL BE EVENLY SPACED AND VISUALLY UNOBTRUSIVE.
- ALL REINFORCING STEEL, DOWELS, ANCHOR BOLTS, AND OTHER INSERTS SHALL BE FIRMLY SECURED IN THE PROPER POSITION PRIOR TO PLACING CONCRETE.
- ALL FLATWORK SHALL BE LAID WITH A CONSTANT SLOPE BETWEEN TWO SPOT ELEVATIONS. CHANGES IN SLOPE SHALL BE ACCOMPLISHED IN A GRADUAL MANNER. ALL HARDSCAPE SHALL SLOPE AWAY FROM BUILDINGS AT 1% SLOPE UNLESS NOTED OTHERWISE ON DRAWINGS.
- NEW CONCRETE PAVING SHALL MATCH EXISTING IN COLOR AND TEXTURE, UNLESS NOTED OTHERWISE ON DRAWINGS.
- IT IS RECOMMENDED THAT THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER TO PERFORM NECESSARY TESTING AND INSPECTIONS FOR QUALITY CONTROL TO ENSURE THAT THE REQUIREMENTS REFERENCED ARE COMPLIED WITH.
- THE LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED IN THE DRAWINGS.
- ALL STEEL SURFACES SHALL BE CLEAN AND FREE OF OILS, BURRS, WELD RESIDUE AND OTHER DELETERIOUS MATERIALS PRIOR TO FINISHING.
- CONTRACTOR SHALL PROVIDE COMPLETE SHOP DRAWINGS BASED ON FIELD DIMENSIONS, FOR ALL STEEL ELEMENTS PRIOR TO CONSTRUCTION, FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT FINISH SAMPLE FOR REVIEW BY OWNER AND/OR LANDSCAPE ARCHITECT.
- MEMBER SIZES INDICATED ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL ENGINEER FOR STRUCTURAL INTEGRITY. FIELD VERIFY DIMENSIONS OF ADJACENT AND ADJOINING WORK. REPORT ANY DISCREPANCIES TO OWNER AND/OR LANDSCAPE ARCHITECT.
- WELD CONNECTIONS CONTINUOUS AND SOLID. REMOVE ANY SPLATTER AND SLAG AND GRIND WELDS SMOOTH. PREPARE SURFACE FOR PAINTING TO CLEAN, SMOOTH, AND FREE OF OBJECTIONABLE MATERIAL. WASH, STEAM CLEAN, SANDBLAST, OR WIRE BRUSH TO BASE METAL.
- BOLTS TO BE CADMIUM PLATED OR STAINLESS STEEL.
- CAP EXPOSED ENDS OF TUBING.
- REINFORCING MARKED "CONTINUOUS" MAY BE SPLICED WITH A LAP OF 30 BAR DIAMETERS (2'-0" MINIMUM) IN CONCRETE, 40 BAR DIAMETERS (2'-6" MINIMUM IN MASONRY), UNLESS NOTED OTHERWISE.
- ALL REINFORCING SHALL BE SUPPORTED IN CONFORMANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES" LATEST EDITION.
- REINFORCING SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS OTHERWISE INDICATED:  
A. WALLS @ 1-1/2"  
B. FORMED SURFACE IN CONTACT WITH EARTH @ 2"  
C. SURFACE DEPOSITED DIRECTLY AGAINST EARTH @ 3"
- ANY DOWELS USED SHALL BE EQUAL IN SIZE AND SPACING TO VERTICAL BARS.
- MASONRY UNITS: SHALL BE GRADE "N" TYPE I CONFORMING TO LATEST ASTM STANDARD SPECIFICATION C-90 AND MANUFACTURED IN ACCORDANCE WITH "CONCRETE MASONRY ASSOCIATION" STANDARDS. SPECIALTY BLOCK SHALL BE AS NOTED ON PLANS.
- MORTAR: SHALL BE TYPE S, CONFORMING TO ASTM C270, WITH A 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI.
- GROUT: FRESHLY PREPARED AND UNIFORMLY MIXED. GROUT SHALL BE COMPOSED BY VOLUME OF 1 PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, TO WHICH MAY BE ADDED NOT MORE THAN ONE-TENTH PART LIME. WATER SHALL BE ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENTS. GROUT SHALL ATTAIN A COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- PORTLAND CEMENT: SHALL BE TYPE II AND CONFORM TO LATEST ASTM STANDARD SPECIFICATION C-150.
- WATERPROOF ALL MASONRY BELOW GRADE.

**NOTE:**  
1. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR SIZE & DEPTH OF REINFORCEMENT & CONCRETE FOOTINGS.

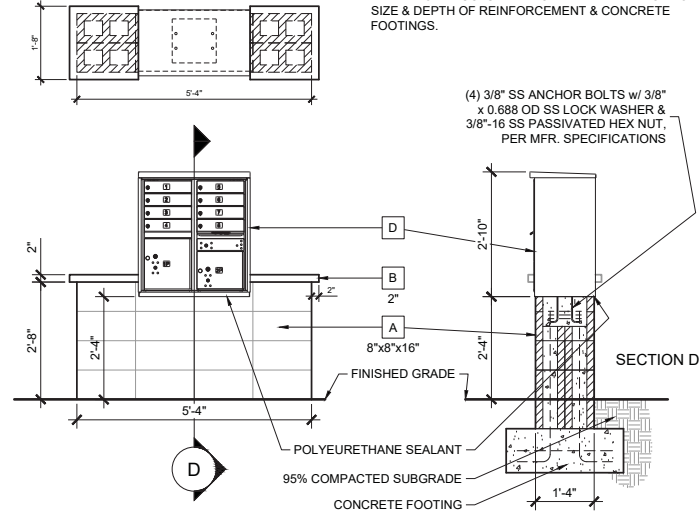


**3 Gate Column**  
SCALE: 1/2" = 1'-0"

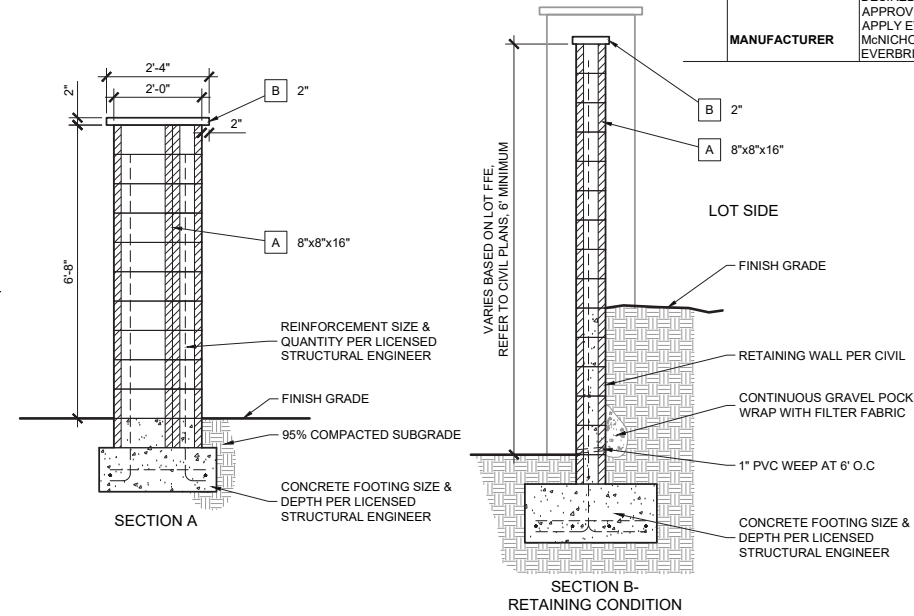


**2 THEME WALL**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
1. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR SIZE & DEPTH OF REINFORCEMENT & CONCRETE FOOTINGS.



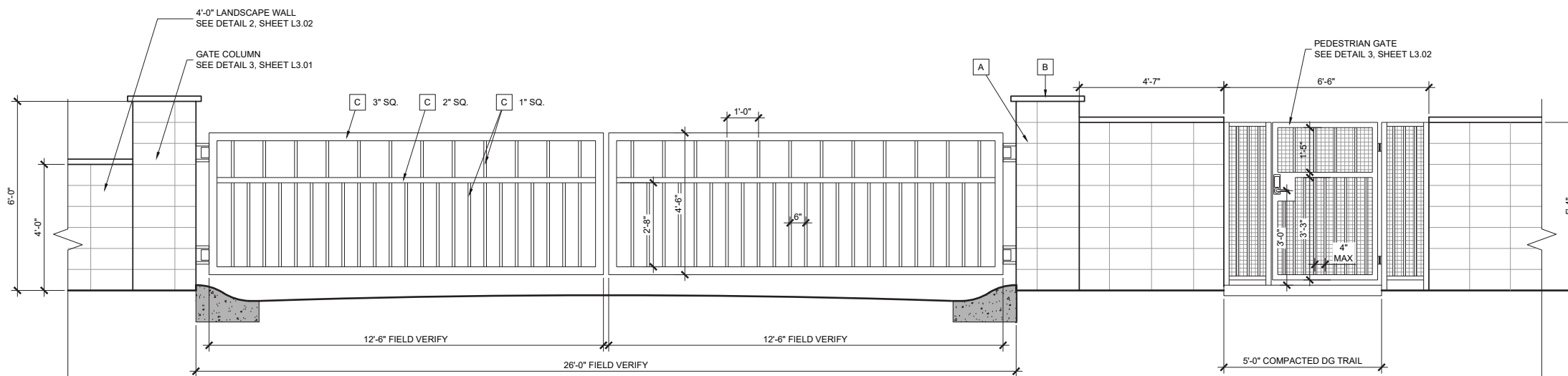
**4 MAILBOX KIOSK**  
SCALE: 1/2" = 1'-0"



**SECTION B - RETAINING CONDITION**

### HARDSCAPE SCHEDULE

ITEM	COLOR	FINISH	SPECIFICATIONS	MANUFACTURER
A	BURNISHED BLOCK	WALNUT CREEK STANDARD	STACK BOND, ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE FLUSH.	SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com)
B	MASONRY CAP	ADOBE, DAVIS COLORS	STANDARD	ALL BLOCK SIZES PER PLANS & DETAILS. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com)
C	TUBULAR STEEL	SW7020 'BLACK FOX' SATIN FINISH PAINT	ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S.	LOCALLY SOURCED SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
D	MAILBOX	BRONZE	N/A	3308BRZ-U
E	LETTERING	BLACK STANDARD	9" HEIGHT PER DETAIL, PIN MOUNTED TO SIGN FACE	FONT BY OWNER LOCAL SIGN MFR.
F	WOVEN WIRE MESH	NATURAL RUST	RUSTED & SEALED	TYPE 1: 1.5' SQ. OPENING, CARBON STEEL, COLD ROLLED, INTERCRIMP WEAVE, 10 GAUGE (.135") WIRE Ø TYPE 2: 4" SQ. OPENING, CARBON STEEL COLD ROLLED, INTERCRIMP WEAVE, 2.75 GAUGE (.25") WIRE Ø ALL WELDS & SHARP CORNERS / EDGES SHALL BE GROUND SMOOTH. ACCELERATE THE RUSTING PROCESS w/ A SALINE OR ACID SOLUTION. ONCE DESIRED LEVEL OF RUSTING IS ACHIEVED (AS APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT) APPLY EVERBRITE SEALER PER MFR'S SPEC'S.
				McNICHOLS (www.mcnichols.com, 877.759.5128) EVERBRITE (www.everbritecoatings.com, 800.304.0566)



**1 VEHICULAR ENTRY GATES**  
SCALE: 1/2" = 1'-0"

**Rvi**

123 S. Ash Avenue  
Tempe, Arizona 85281  
Tel: 480.994.0994  
www.rviplanning.com

EXPIRES 03/31/21



ESTATES AT HAYDEN

SCOTTSDALE, ARIZONA

PROJECT NO: 19002592  
DATE: 12/23/2020  
DRAWN: KP/RT/TB  
REVIEWED: BG/MD

REVISIONS  
▲  
▲  
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▲  
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**NOTE:**  
ALL CONCRETE SHALL BE COLORED DAVIS COLORS 'SAN DIEGO BUFF' OR EQUAL.

NO MATERIALS OR COLORS WILL HAVE AN LRV VALUE GREATER THAN 35%, A CHROMA OF GREATER THAN 6 OR A VALUE GREATER THAN 6 INDICATED IN THE MUNSELL BOOK OF COLOR

HARDSCAPE DETAILS

L3.01

SHEET 4 OF 5

2ND SUBMITTAL CASE NUMBER: 10-PP-2019 PLAN CHECK NUMBER: 5306-20



Black Mountain Rd

Hayden Rd





Hayden Rd

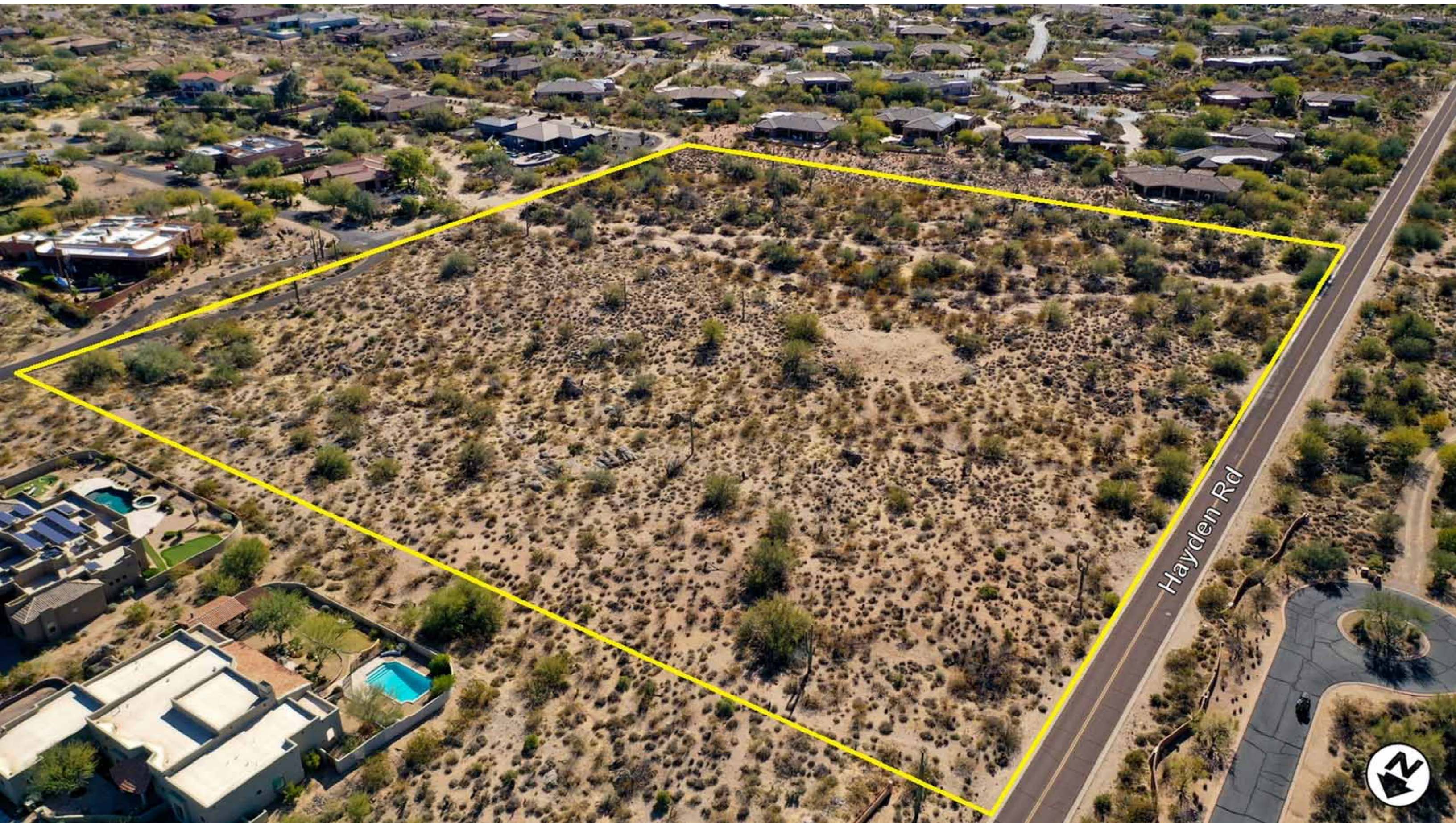
Black Mountain Rd





Hayden Rd





Hayden Rd

