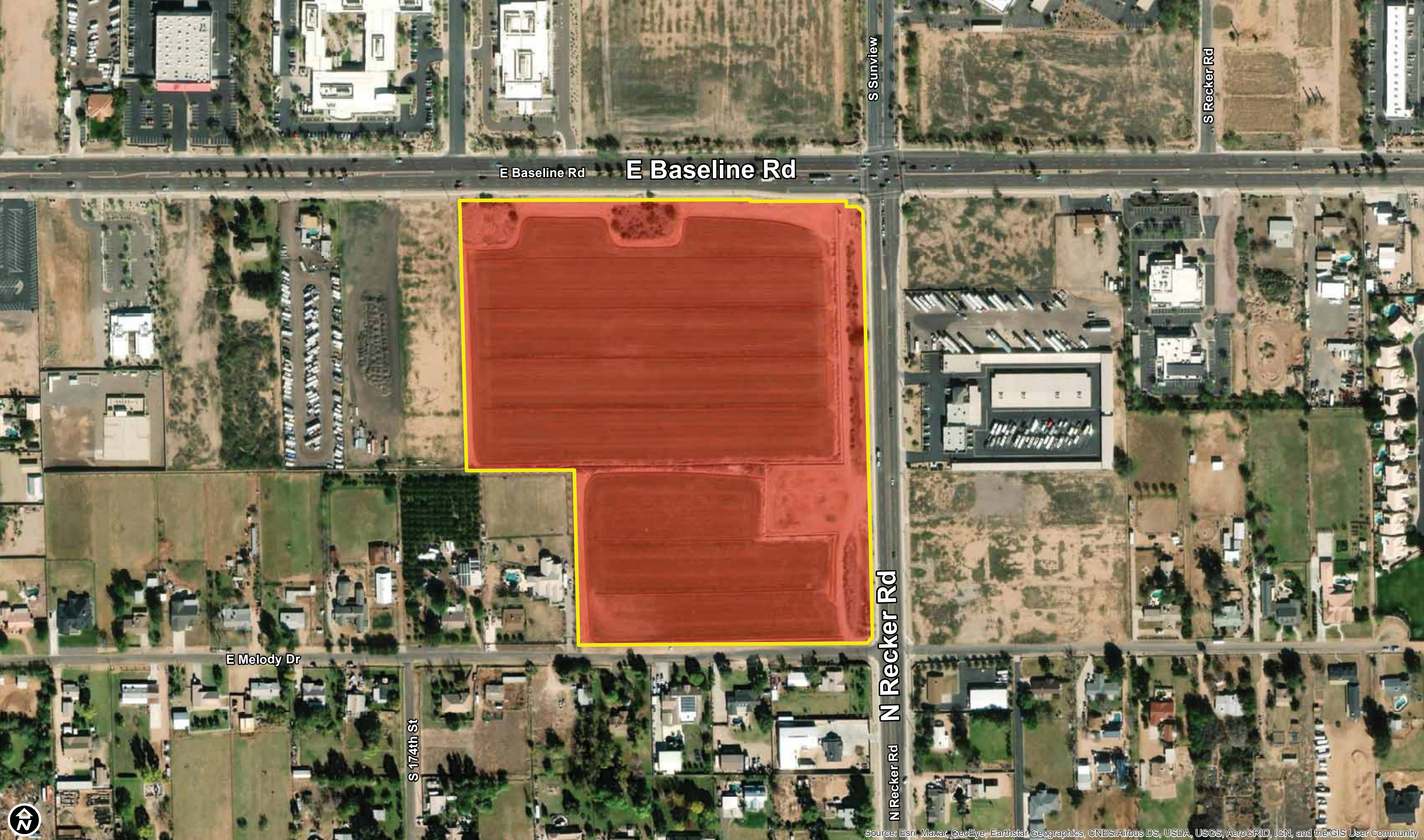


RESIDENTIAL DEVELOPMENT OPPORTUNITY BASELINE RD & RECKER RD | GILBERT, ARIZONA

LOCATION	Site is located at the southwest corner of Baseline Rd & Recker Rd, Gilbert, Arizona
NUMBER OF ACRES	±31.19 Gross ±27.16 Net
CONCEPTUAL USES	60 Single Family Lots 90' x 130' 2.21 DUA Net 51 Single Family Lots 100' x 140' 1.87 DUA Net
SETBACKS	5' & 10' Side Yard (Planned)
CURRENT ZONING	GC, SF-43 Town of Gilbert
SUGGESTED PRICE	\$16,250,000
SUGGESTED TERMS	Cash. 60-day Feasibility Period with a close of escrow upon rezoning and Final Engineering approvals with the Town of Gilbert.
UTILITIES	Water Town of Gilbert Sewer Town of Gilbert Electric Salt River Project
CONTACT	Grant D. Helgeson, Don McCaul Westland Properties Group
COMMENTS	<p>This is a well-located residential opportunity with excellent access to transportation, employment and retail corridors. Site planned as Gated Community with Single Story home provisions.</p> <p>In addition to Purchase Price, Buyer will be responsible for reimbursing the Town of Gilbert \$1,475,410 for offsite improvements on both Baseline Rd & Recker Rd.</p> <p>Buyer will need to coordinate Site Planning with EPS Group, Inc., and Zoning with Pew & Lake PLC / Sean Lake.</p>



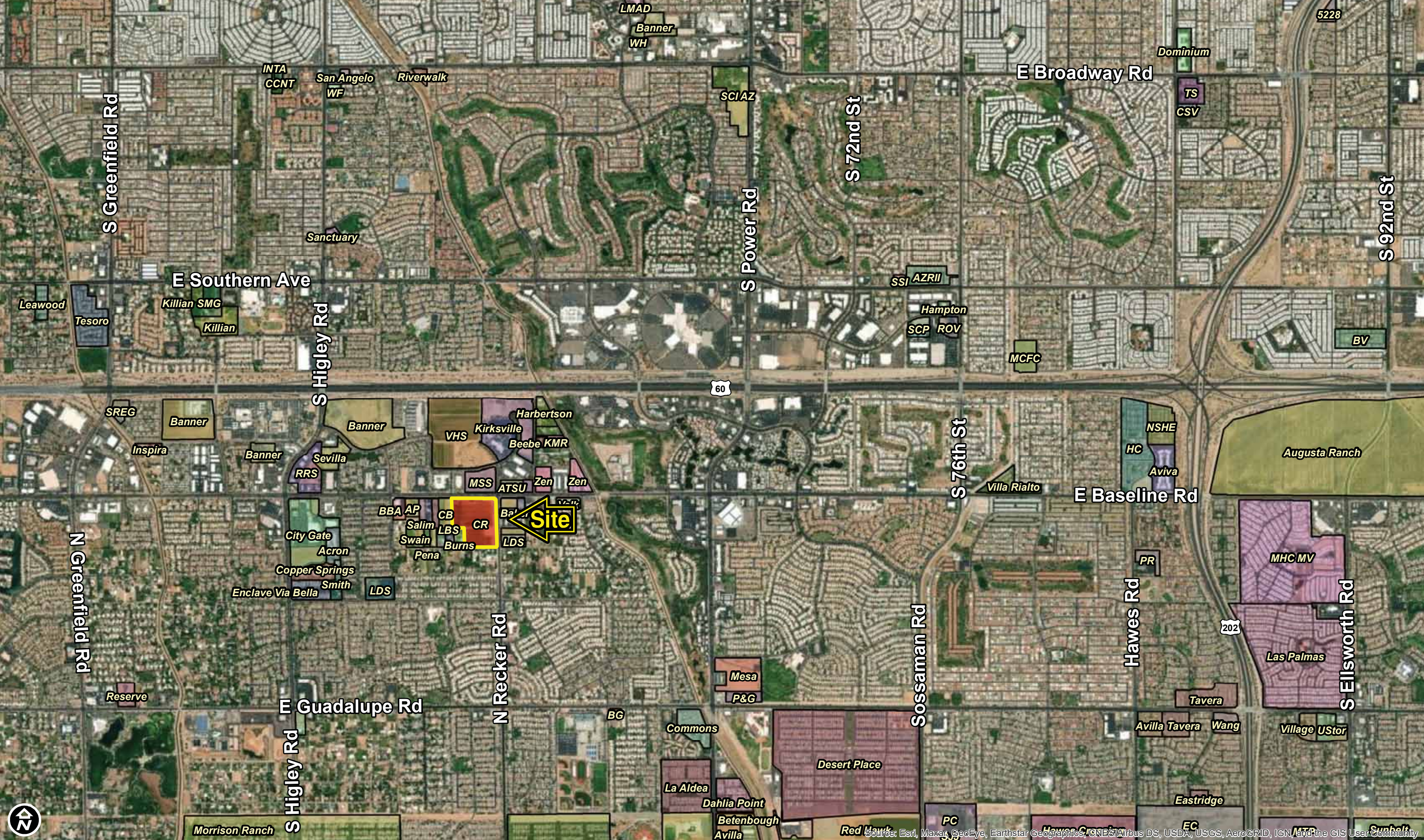
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

DEVELOPMENT OPPORTUNITY
±27.15 ACRES | ZONED GC, SF-43
BASELINE RD & RECKER RD
GILBERT, ARIZONA

Grant D Helgeson, Broker - Direct: (480) 675-5149

Don McCaul, Broker - Direct: (480) 675-5144

WPG | WESTLAND PROPERTIES
GROUP
8141 E Indian Bend Rd, Ste 103 Scottsdale AZ 85250
Tel: (480) 443-8570 / Fax: (480) 443-3736
www.westland-properties.com



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VICINITY MAP



PROJECT DATA

A.P.N.	304-07-036A; 035B; 001U
CURRENT LAND USE:	UNDEVELOPED / AGRICULTURE
EXISTING GENERAL PLAN:	GENERAL COMMERCIAL (GC) (71%) RESIDENTIAL > 0 - 1 DU/AC (29%)
EXISTING ZONING:	GENERAL COMMERCIAL (GC) (71%) SINGLE FAMILY - 43 (SF-43) (29%)
GROSS AREA:	± 31.19 ACRES
NET AREA:	± 27.16 ACRES
NO. OF UNITS:	60
DENSITY:	2.21 DU/AC (OF NET AREA)
OPEN SPACE:	6.33 ACRES

